

Navigating the Permit Process for Residential Construction Projects

Presented by:

City of Santa Clarita Permit Center 23920 Valencia Boulevard Suite 140 Santa Clarita, CA 91355

Planning: (661) 255-4330 *Engineering Services:* (661) 286-4060 *Building & Safety:* (661) 255-4935

www.santa-clarita.com





Welcome!

In this information session, staff from the City's Permit Center will guide you through the building permit process for residential construction projects. You'll gain valuable insight and numerous tips to help you complete your project on-time and within budget.

Did you know ...?

In 2017 Building & Safety issued *5,782 permits* and performed *21,208 building inspections* for more than *\$365 million* of new construction in the City of Santa Clarita!



Topics Covered

- · Why permits are necessary
- · Projects which are exempt from permits
 - Risks of unpermitted construction
- Overview of construction regulations
- Preliminary phase
- City resources available
- Same-day ("over-the-counter") permits
- Standard plans and details
- Conventional wood-framed construction
- · Hiring a qualified designer
- The plan review process and eService
- · Permit expediting tips
- · Hiring a licensed contractor
- · Pulling a building permit
- Building inspections

Useful Definitions

Addition – Increasing the overall size of a structure, such as adding a room or building a new story

ADU – Accessory Dwelling Unit Also JADU – Junior Accessory Dwelling Unit

Alteration or **Remodel** – Improving the interior or exterior of an existing structure, but not increasing its size

CBC, CRC – California Building Code, California Residential Code

Elevation – A height measured from a reference point. Also, a drawing of the vertical faces of a structure (as if standing on the ground and facing the structure) **Final** or **Finaled** – Passed a final building inspection. A structure that is "finaled" is approved for occupancy

Grade – The elevation of the adjacent ground

Grading – Earth work. Altering the topography of a site by moving, removing, or importing soil

HVAC - Heating, ventilation, and air conditioning

Loft Addition – Adding floor area to an upper floor within a multi-story home, but not increasing the overall size of the structure

Special Inspection or **Deputy Inspection** – Inspection work performed by a third-party inspector who is registered by the City

3

Why Permits are Necessary

The intent of the permit process is to **safeguard the public health**, **safety**, **and general welfare** through the following:

- · Structural strength and stability
- · Safe exit routes from buildings
- Safety to life and property from fires, floods, and other hazards
- Sanitation
- Adequate lighting and ventilation
- Weather resistance
- · Energy conservation and environmental sustainability

Code-compliant structures improve and maintain the value of properties in our City.

The Insurance Services Office (ISO) evaluates the City's Building Code adoption and enforcement activities.

Permits and plans are kept by the City permanently.



Residential Projects Which Are Exempt from Permits

A building permit is not required for certain types of small residential projects. Examples include:

- Accessory structures 120 sq. ft. or less*
- · Wood, vinyl, or wrought iron fences not over 6 ft. tall
- · Sidewalks and driveways*
- · Decks or platforms not more than 30" above adjacent grade*
- Exterior hardscape features*
- · Small canopies, awnings, or open trellises*
- · Short retaining walls*
- Decorative moldings, trim, window treatments, wall coverings, painting, papering, tiling, carpeting, hardwood or tile flooring, counters or countertops, tub or shower surrounds, and similar interior finish work
- · Garage and closet organizers, cabinets, or shelving*
- The installation of replacement window units installed within existing frames and where no stucco or siding is removed*
- · Low-voltage wiring for security systems, telephone, etc.*

A grading permit is not required for:

- Soils work 3 feet or less below a foundation
- Minor alterations to site topography which do not change the overall drainage pattern of the site

City Planning clearance is required for all residential projects. Planning review for small and mid-sized residential projects can typically be done over-the-counter without an appointment.

Projects which are exempt from permit must still comply with all applicable regulations.

*Certain limitations apply. Please visit the City's website or contact the Permit Center for more information.

Risks of Unpermitted Construction

Unpermitted and/or substandard construction can expose you to the following risks:

- · Life safety and health risks
- Property damage due to fire, floods, and other hazards
- · Inefficient and ineffective construction
- · Difficulties selling the property
- Legal troubles
- Limited or prohibited occupancy (yellow or red tagged property)
- Added costs to resolve unpermitted or substandard work
 - Code Enforcement citations
 - Penalty fees
 - Costs to repair, correct, and/or upgrade substandard work



Enforcement related to unpermitted and substandard construction is carried out by the City's Community Preservation Division, with support from Permit Center staff.

In order to be legalized, unpermitted construction must comply with **current Building Code requirements** (not the codes applicable when the illegal work was done).

Risks of Unpermitted Construction



Fire caused by an unpermitted water heater. Not only was the structure badly damaged, but the vehicle was a total loss.





Fires caused by unpermitted electrical work.

Risks of Unpermitted Construction



Unpermitted block wall which collapsed in the 1994 Northridge Earthquake.



Failure of an unpermitted retaining wall.



Framing cut during an unpermitted re-pipe.



Deck collapse due to inadequate connections.

9

The Permit Process Saves Lives and Property



This fire destroyed the garage structure and all of the vehicles inside...

but the homes on the other side of the fire-rated wall were saved!

Overview of Construction Regulations

Unified Development Code (UDC)

Enforced by Planning and Engineering Services

- Land use (zoning)
- Setbacks (distances from property lines and other structures)
- Aesthetics
- Grading
- Drainage

Building Codes

Enforced by Building & Safety

- California Building & Residential Codes
- · California Mechanical Code
- · California Electrical Code
- · California Plumbing Code
- California Energy Code
- CALGreen Code
- · City Amendments to the Codes



11

Overview of Construction Regulations

Additional Regulations

Floodplain ordinance

Enforced by Building & Safety, Engineering Services, and the City's Certified Floodplain Manager

- Fire Code
 Enforced by L.A. County Fire Prevention
- Sewer regulations
 Enforced by L.A. County Sanitation District
- Septic system regulations
 Enforced by L.A. County Health Services
- Oak tree ordinance
 Enforced by Planning and Urban Forestry

- Landscape Maintenance District regulations
 Enforced by Special Districts
- Asbestos regulations
 Enforced by South Coast Air Quality
 Management District (AQMD)
- Construction safety regulations
 Enforced by Cal/OSHA
- Oil, gas, and geothermal regulations (wells) Enforced by CA Dept. of Conservation

Cannabis (marijuana) ordinance

Enforced by Community Preservation (Permits are not required for residential growing unless alterations are made.) Existing conditions and regulations can have a major impact on the design, cost, and feasibility of your construction project.

The key to successfully managing your project is to proactively identify these challenges and resolve them early on.

"Measure twice, cut once."

Preliminary Phase

Before detailed plans are prepared, the following preliminary work should be done.

Identify any existing conditions that could affect the project:

- Topography (slopes)
- Geotechnical (soils) conditions (landslide, liquefaction, expansive soils)
- Sewer/septic systems (projects within 200 ft. of a sewer must connect)
- Site drainage elements (area drains, swales, etc.)
- Flood zones
- · Fire hazard zones
- Oak trees
- Landscape Maintenance District areas
- Public right-of-way encroachment



The City's Geographic Information System (GIS) is an excellent resource www.santa-clarita.com/gis

14

Preliminary Phase

Perform property research:

- Easements
- Conditions, covenants, and restrictions (CC&Rs)
- Homeowners Association (HOA) rules
- Restricted use areas
- Lot status (legal lots)
- Legal access issues
- Unpermitted / substandard construction

Time spent during the preliminary phase is crucial. If homeowners, designers, and builders rush through this phase, important items are often missed.



L.A. County Tax Assessor Maps maps.assessor.lacounty.gov

Property documents are recorded with the L.A. County Registrar-Recorder

15

Preliminary Phase

Before contacting the City's Permit Center and other agencies, you should have a good idea of what you want to build. Prepare preliminary drawings that describe the overall project and that are clear and legible.



City Resources Available

City staff and other resources are here to help!

Contact the City's Permit Center early

- Friendly and knowledgeable staff are available to assist.
- Get answers to questions regarding City codes and ordinances.
- Get an outline of the permit process for your project.
- The City does not charge a fee for a preliminary project review.

Contact the other agencies which will need to clear the project prior to permit issuance.



Verifying existing conditions prior to construction is not part of the services provided by the City. It is the responsibility of the owner, designer, and/or contractor to perform all necessary due diligence.

City Resources Available

Obtain an Agency Referral List for your project.





The Agency Referral List can be used to determine which clearances must be obtained before a building permit can be issued.

Depending on the size/scope of your project, some of the agencies may require a plan review and/or fee payment.

The list contains the criteria and contact info for each City Division and outside agency.

The list is available online.

City Resources Available

The City's website is a great resource:

www.santa-clarita.com/planning (Planning home page) www.santa-clarita.com/building (Building & Safety home page) www.santa-clarita.com/engineering (Engineering Services home page) www.santa-clarita.com/gis (GIS mapping home page) www.santa-clarita.com/eservice (eService permitting system)





Numerous handouts and checklists are available online.



City Resources Available

Example plans for common types of projects are available online.



Construction plans must clearly depict the location, nature, and extent of the project and show in detail that it will conform to the provisions of the Building Codes and other relevant regulations.

21

Same-Day ("Over-the-Counter") Permits

Permits for the following types of small projects are issued the same day ("over-the-counter"):

- · Re-roofs
- · Kitchen and bathroom remodels
- Standard patio covers
- Small mechanical, electrical, and plumbing projects (HVAC equipment replacements, new lighting or electrical plugs, water heater replacements, re-pipes, etc.)
- Fence walls and small retaining walls

Online permits are issued for re-pipes, water heater change-outs, water service, and electrical panel upgrades.

Permits are issued at the Permit Center counter during business hours.



Same-Day ("Over-the-Counter") Plan Reviews

Plan reviews for small projects which require no more than 30 minutes are typically performed the same day ("over-the-counter"):

- Remodels involving minor structural or floor plan changes
- · Simple single-story additions
- · Small sheds and accessory structures
- · Custom decks and patio covers
- · Retaining walls
- · Pools and spas

Over-the-counter plan check hours are: 7:30 to 11:00 a.m. Monday through Thursday 8:00 to 11:00 a.m. Friday



23

Standard Plans and Details for Small Projects







For very small projects, the City provides standard plans and details (block fence walls, retaining walls, patio covers, etc.). Third-party standard plans also exist for metal patio covers and enclosures, pools, and other pre-fabricated elements.

Conventional Wood-Framed Construction



The City's Conventional Wood-Frame Construction Sheet is available online.

Plans for conventional wood-frame structures need not be sealed and signed by a licensed Architect or Engineer.

Conventional structures must comply with specific Building Code requirements which are more restrictive in many cases.

Simple single-story wood-framed structures may qualify as "conventional" in accordance with the Building Code.

25





2

HALL DIVEL BE FLACED 3/14" FROM FINISE EDIDS WITH THE EDIDS WALL BE FLACED 3/14" FROM FINISE DIVERSITI WITH DIRECTION STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED 3/14" FROM FINISE EDIDS DIVEL BE FLACED STREPTIES INSTRUMENT INCIDENCE FLACED STREPTIES INSTREPTIES INSTRUMENT INCIDENCE FLACED STREPTIES INSTREPTIES INSTREPTIES INSTRUMENT INCIDENCE FLACED STREPTIES INSTREPTIES INSTREPTIES INSTREPTIES INSTREPTIES INSTREPTIES INSTREPTIES INSTREPTIES INCIDENCE FLACED STREPTIES INSTREPTIES INSTR To qualify as conventional, the structure must be single-story, have relatively short spans, and limited openings in the walls.

Most residential projects do not qualify as conventional, and require a licensed Architect or Engineer to seal and sign the structural plans.

Hiring a Qualified Designer (Draftsperson)

The regulations governing construction are very complex. Construction plans which do not comply must be revised, and in some cases completely redesigned.

Whenever a residential project requires custom plans, a qualified designer (someone with experience preparing construction plans) should always be hired to prepare them.

Owners and contractors will sometimes attempt to save on costs by preparing the plans themselves. This often delays the permit process.

For many residential projects, a licensed Civil or Structural Engineer prepares the structural plans, and a qualified designer (unlicensed) prepares the rest of the plans (architectural, utility, energy, etc.).



27

Hiring a Qualified Designer (Draftsperson)

Questions to ask before hiring a designer:

- What qualifications does the designer have?
- Has the designer prepared plans for residential projects before?
- Can the designer provide client references and examples of his/her work?
- Is the designer directly involved in the preparation of the plans, or delegating the work to someone else?
- Will the designer submit the plans to the various City Divisions and other agencies (provide routing services)?

In many cases, the owner or contractor will do the project routing.

• Is the designer familiar with the latest Building Codes and other regulations?





Hiring a Qualified Designer (Draftsperson)

The City cannot recommend designers to the public. However, permit information and plans are available for viewing at the Permit Center.

See the Architects Practice Act and the Professional Engineers Act for more information.

State law requires licensed designers to execute a written contract with their client prior to commencing architectural or engineering work, unless the client knowingly states in writing that work may be commenced before the contract is executed.



Consumer's Guide to Hiring an Architect published by the California Architects Board

29

Hiring a Qualified Designer (Draftsperson)

Questions to ask before signing a contract with a designer:

- Does the contract clearly describe the services to be provided?
- Does the contract clearly describe the basis of compensation and method of payment?
- Does the contract include a procedure for additional services?
- Does the contract include a procedure for terminating the contract?
- Does the contract include the professional's contact information (name, address, and license number)?
- Does the contract include services to address agency comments/corrections and obtain approval for a building permit?
- Does the contract specify timeframes for completion of the professional services?



The Plan Review Process

Before a building permit can be issued, the project must be reviewed and approved by all of the applicable City Divisions and outside agencies (see the Agency Referral List).

Planning typically reviews small to mid-sized residential projects over-the-counter at no cost.

Turn-around time for Building & Safety plan review is typically 2-4 weeks for first review and 1-2 weeks for rechecks.

Building & Safety plan review fees are roughly 1% - 2% of the project valuation (varies with size).

Plan review fees cover one plan review and two rechecks. Additional rounds of plan review, if any, will incur additional fees.



The Plan Review Process

The City's online permit system is called eService.

eService allows customers to:

- Create an account at
 www.santa-clarita.com/eservice
- · Submit permit applications
- · Upload plans and other documents
- · Monitor the status of their projects
- Receive plan review comments
- · Receive e-mail notifications during the process
- · Pay City fees
- · Schedule inspections
- See basic permit records for any property within the City

The City accepts paper or electronic plans.

			Search Q ·
Search Q •	ome Building Engineeri	ng	
	Advanced Search -		
ne Building Engineering			
ne Building Engineering			Login
na Building Engineering Vanced Search + Icome to Santa Clarita eService Login			User Name or E-mail:
Building Engineering Engineering Engineering Cometa Search + Cometa Search Claria service Login Login Login Login Login			
Building Engineering Banced Search + Icome to Sance Claria service are pleased to offer our citizens, businesse, and visitors access to government Aces online, 24 hours a day, 7 days a week.			Password:
Building Engineering Varaced Search V			
Building Engineering banced Search v toome to Sance Claria service are pleased to offer our citezen, businesse, and visions access to government des ordine, 24 hours a day, 7 days a week. are fulfilling our promise to deliver powering e-government services and provide Password: Password:			
Building Engineering Varaced Search V			Login »
Building Engineering Loopen Loo		ikes living and working in our community a more	
Euliding Engineering Engineering transet Search = temperature Search = temp	njoyable experience.		
Building Engineering Engineering transet Search + terms to Sam Clarin Genrice amplexadous to offer or a claren: buildings, and visitors access to government ces ording: A fourts a day. 7 days a week. Building or gomma and interaction to use and provide able influency or gomma and interaction. To use and interaction and use the ording and working in our community a more a diverse or the use in the ministry of working and working in our community and in any offer ouse more an anonymous our left our to this this imposite guestions. building of generations and our the use interactions and provide able interactions and an anonymous our left out in this till provide guestions building of generations building of generation	What would you like to do today?		
Building Engineering	o get started, select one of the se	vices listed below:	New Users: Register for an Account
Building Engineering Marked Starck Engineering Marked Starck Ma	Conoral Information	Building	
building Engineering			
Building Engineering Engineering Comment Starts Clarks Service are pleased to offer our catterns. buildings and clarks and and any 2 rogst a weak are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with use are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information a planted, select one of the services and the select one of the services	ookup Property Information		
Building Engineering		Schedule an Inspection	
Building Engineering Engineering Contrast Starts Contrast Cont			
Volume in the Engineering Volume in the Section of the Se	naineerina		
Telling in Engineering			
	create an Application		
Building Engineering Control State State Control Contro	ngineering		
	create an Application		
	reate an Application		
	reate an Application		
	reate an Application		
	reate an Application		
	reate an Application	_	
Building Cingineering Team of Search * Control Search Carlies Searches Team of Carlies Team of Carlies Team of Searches Team of Carlies Team of Carlies Team of Tea			
Telling in Engineering			
Telling in Engineering			
Volume in the Engineering Volume in the Section of the Se			
Volume in the Engineering Volume in the Section of the Se	aineerina		
Building Engineering Engineering Contrast Starts Contrast Cont	ngineering		
Building Engineering Engineering Contrast Starts Contrast Cont			
Building Engineering Engineering Contrast Starts Contrast Cont		schedute an inspection	
Building Engineering			
Building Engineering			
Building Engineering Engineering Comment Starts Clarks Service are pleased to offer our catterns. buildings and clarks and and any 2 rogst a weak are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with use are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information a planted, select one of the services and the select one of the services			
Building Engineering Engineering Comment Starts Clarks Service are pleased to offer our catterns. buildings and clarks and and any 2 rogst a weak are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with use are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information a planted, select one of the services and the select one of the services	owap moperty anormation		
Building Engineering Engineering Comment Starts Clarks Service are pleased to offer our catterns. buildings and clarks and and any 2 rogst a weak are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with use are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information a planted, select one of the services and the select one of the services	oway reoperty incommution		
Building Engineering Engineering Comment Starts Clarks Service are pleased to offer our catterns. buildings and clarks and and any 2 rogst a weak are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with use are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information a planted, select one of the services and the select one of the services	okup Property Information		
Building Engineering Engineering Comment Starts Clarks Service are pleased to offer our catterns. buildings and clarks and and any 2 rogst a weak are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with use are fulfilling our promise to deliver powerful e-government services and provide able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information about the community while making your interactions with able information a planted, select one of the services and the select one of the services	okup Property Information	Create an Application	
building Engineering			
building Engineering	meratimornation	building	
building Engineering	eneral Information	Building	
Building Engineering Marked Starck Engineering Marked Starck Ma	eneral Information	Building	
Building Engineering Marked Starck Engineering Marked Starck Ma			New Users: Register for an Account
Building Engineering	get started, select one of the se	vices listed below:	Eve forgotten my password New Users: Register for an Account
Building Engineering transet Search toome to Sama Clarkia edencic an pleased to offer our circlem. buildness, and visitors accress to government are plantering of your and you of the output of the			
Euliding Engineering Engineering transet Search = temperature Search = temp	What would you like to do today?		Remember me on this computer
Euliding Engineering Engineering transet Search = temperature Search = temp	What would you like to do today?		Remember me on this computer
Euliding Engineering Engineering transet Search = temperature Search = temp			Remember me on this computer
Euliding Engineering Engineering transet Search = temperature Search = temp			
Euliding Engineering Engineering transet Search = temperature Search = temp	yey and the second second		
Euliding Engineering Engineering transet Search = temperature Search = temp	joyable experience.		
Building Engineering Loopen Loo			
Building Engineering Loopen Loo		incoming and monany in our community a more	
Building Engineering Loopen Loo		incoming and monany in our community a more	
Building Engineering Loopen Loo		west uning and working in our community a more	
Building Engineering Loopen Loo		ives uving and working in our community a more	
Building Engineering Loopen Loo	w, higher level of service that ma	ikes living and working in our community a more	
Building Engineering Loopen Loo	w, higher level of service that ma	ikes living and working in our community a more	
Building Engineering Loopen Loo	w, higher level of service that ma	ikes living and working in our community a more	
Building Engineering Loopen Loo	w, higher level of service that ma	ikes living and working in our community a more	a segure
Building Engineering Annote Search + Icome to Sans Claria sérvice are Jesuid to offer our citizens, businesse, and visitors access to government, ices online, 24 hours a day, 7 days a week. are fulfilling our primite to deliver powerful e-government services and provide are information about the community while making your interactions with us e efficience, convenient, and interactive. To use ALL the services we provide plasse ere and create aure account. You can white making your interactions with us e efficience, convenient, and interactive. To use ALL the services and write our services and write our services and write our services.	w higher level of service that ma	kes living and working in our community a more	Login »
Building Engineering Annote Search + Icome to Sans Claria sérvice are Jesuid to offer our citizens, businesse, and visitors access to government, ices online, 24 hours a day, 7 days a week. are fulfilling our primite to deliver powerful e-government services and provide are information about the community while making your interactions with us e efficience, convenient, and interactive. To use ALL the services we provide plasse ere and create aure account. You can white making your interactions with us e efficience, convenient, and interactive. To use ALL the services and write our services and write our services and write our services.			Login »
Building Engineering Annote Search + Icome to Sans Claria sérvice are Jesuid to offer our citizens, businesse, and visitors access to government, ices online, 24 hours a day, 7 days a week. are fulfilling our primite to deliver powerful e-government services and provide are information about the community while making your interactions with us e efficience, convenient, and interactive. To use ALL the services we provide plasse ere and create aure account. You can white making your interactions with us e efficience, convenient, and interactive. To use ALL the services and write our services and write our services and write our services.			Login »
Building Engineering Wanced Search + Kome to Sand Clarks Service and Johanni Service Joha	d have limited services as an and	nymous user. We trust this will provide you with a	Contraction of the local division of the loc
Building Engineering Wanced Search + Kome to Sand Clarks Service and Johanni Service Joha			
Building Engineering Wanced Search + Kome to Sand Clarks Service and Johanni Service Joha	gister and create a user account.	You can view information, get questions answered	
Building Engineering banced Search v toome to Sance Claria service are pleased to offer our citezen, businesse, and visions access to government des ordine, 24 hours a day, 7 days a week. are fulfilling our promise to deliver powering e-government services and provide Password: Password:	dister and create a user account	You can view information, get questions answered	
Building Engineering banced Search v toome to Sance Claria service are pleased to offer our citezen, businesse, and visions access to government des ordine, 24 hours a day, 7 days a week. are fulfilling our promise to deliver powering e-government services and provide Password: Password:			
Building Engineering banced Search v toome to Sance Claria service are pleased to offer our citezen, businesse, and visions access to government des ordine, 24 hours a day, 7 days a week. are fulfilling our promise to deliver powering e-government services and provide Password: Password:			
Building Engineering banced Search v toome to Sance Claria service are pleased to offer our citezen, businesse, and visions access to government des ordine, 24 hours a day, 7 days a week. are fulfilling our promise to deliver powering e-government services and provide Password: Password:	ore efficient, convenient, and inte	eractive. To use ALL the services we provide please	
Building Engineering banced Search v toome to Sance Claria service are pleased to offer our citezen, businesse, and visions access to government des ordine, 24 hours a day, 7 days a week. are fulfilling our promise to deliver powering e-government services and provide Password: Password:	ore efficient, convenient, and inte	eractive. To use ALL the services we provide nlease	
Building Engineering Varaced Search V	and addinional and and interest and interest	To use All the condens on provide states	
Building Engineering Varaced Search V			
Building Engineering Varaced Search V	nuable information about the con	innumity write making your interactions with us	
Building Engineering Varaced Search V	luable information about the cor	nmunity while making your interactions with us	rassworu.
Building Engineering Varaced Search V	luable information about the con	omunity while making your interactions with us	Password:
Building Engineering Vanced Search + Vocene to Santa Clarita Service Jar placed to offer our citerers, businesse, and visitors access to government Login User Name or E-mail: Login User Name or E-mail:			Pacquord:
Building Engineering Banced Search + Icome to Sance Claria service are pleased to offer our citizens, businesse, and visitors access to government Aces online, 24 hours a day, 7 days a week.	e are ruiniling our promise to del	ver powerrui e-government services and provide	
Building Engineering Banced Search + Icome to Sance Claria service are pleased to offer our citizens, businesse, and visitors access to government Aces online, 24 hours a day, 7 days a week.	e are fulfilling our promise to del	ver powerful e-government services and provide	
Building Engineering Banced Search + Icome to Sance Claria service are pleased to offer our citizens, businesse, and visitors access to government Aces online, 24 hours a day, 7 days a week.	e are fulfilling our promise to del	ver powerful e-government services and provide	
Building Engineering Banced Search + Icome to Sance Claria service are pleased to offer our citizens, businesse, and visitors access to government Aces online, 24 hours a day, 7 days a week.	e are fulfilling our promise to del	ver powerful e-povernment services and provide	
Building Engineering Engineering Engineering Cometa Search + Cometa Search Claria service Login Login Login Login Login	a are fulfilling our promise to dat	una powerful a compression consister and provide	
Building Engineering Engineering Engineering Cometa Search + Cometa Search Claria service Login Login Login Login Login			
Building Engineering Engineering Engineering Cometa Search + Cometa Search Claria service Login Login Login Login Login			
Building Engineering Engineering Engineering Cometa Search + Cometa Search Claria service Login Login Login Login Login	mues onnine, 24 hours a day, 7 d	iyo a week.	
ne Building Engineering Vaarced Search + Icome to Santa Clarita «Service Login	rvices online 24 hours a day 7 d	ws a week	Over Hume OF L-Hall.
ne Building Engineering Vaarced Search + Icome to Santa Clarita «Service Login			User Name or E-mail:
na Building Engineering Vanced Search + Icome to Santa Clarita eService Login	are pleased to offer our citizen	businesses and visitors access to dovernment	
Re Building Engineering			-
Re Building Engineering			Login
ne Building Engineering	-lasma ta Canta Clasita «Cani		Login
ne Building Engineering			
ne Building Engineering			
	dvanced Search +		
	me Building Engineeri	ng	
Search Q. •	Dullation - Exclusion		
			Search Q •

Permit Expediting Tips

Properly coordinating the submittals to the various City Divisions and other agencies is key. Delayed submittals to one or more agencies can result in changes later in the process.

Plan reviews for large projects may be expedited by paying an additional 50% plan review fee. The turnaround time is reduced by half. The availability of expedited plan review varies with workload.

Address all plan review comments before resubmitting for recheck. If you are unsure about a comment, contact the plan reviewer. Plan reviewers are available at the Permit Center counter (before 11:00 a.m.), by phone, or by e-mail.



33

Plans which are incomplete or do not comply with construction regulations may need to be rechecked multiple times.

Unfortunately, some designers intentionally submit incomplete plans in order to collect a design fee or to "see what the City says" before finishing the design. This only delays the permit process. It is much more effective to meet with City staff early to obtain feedback, and submit a complete set of plans from the beginning.

Pulling a Building Permit Planning a Residential Project

The Contractors State License Board (CSLB) website is an excellent resource for those seeking to hire a contractor.

http://www.cslb.ca.gov/

Access the "Consumers" page, and select "Hire a Licensed Contractor".

It is important to check the contractor's license status and whether he/she has worker's compensation insurance.



35

Hiring a Licensed Contractor

Only a California licensed contractor or the property owner (or his/her designee) can obtain ("pull") a building permit.

Contractors are licensed under different classifications:

- Class C Specialty Contractor Plumbing, electrical, drywall, roofing, etc.
- Class B General Building Contractor
 Builds structures for the support, shelter, and/or
 enclosure of persons, animals, or property.
- Class A Engineering Contractor

Builds fixed works such as highways, bridges, tunnels, pipelines, flood control structures, etc.

Specialty contractors (Class C) can only pull permits for work covered by their licensure. Permits for work involving multiple trades must be pulled by Class A or Class B contractors.





36

Pulling a Building Permit Risks of Pulling a Permit as Owner-Builder

As an owner-builder, you assume full responsibility for all phases of your project and its integrity.

Unless you are knowledgeable about construction, mistakes can be costly and take additional time to repair or correct.

Subcontractors and suppliers who are not paid on schedule may file mechanics liens against your property.

If your workers are injured, or your subcontractors are not licensed or do not carry liability insurance or workers' compensation insurance and they are injured, you could be asked to pay for injuries and rehabilitation through your homeowner's insurance policy or face lawsuits. Be cautious of unlicensed individuals claiming to be contractors who prey upon homeowners. They may promise to guide you through the owner-builder process for a consulting fee, but they are breaking the law.

Licensed contractors must demonstrate knowledge of their craft, be tested, fingerprinted, bonded, and undergo an FBI background check before they are licensed to work in California.

Unlicensed contractors can botch a job or leave with the down payment, leaving the owner-builder to deal with the consequences.

In order to pull a permit as owner-builder in the City of Santa Clarita, Building & Safety requires owners to sign an acknowledgment.

37

Pulling a Building Permit

Permit and Development Fees:

- Building inspection fees are roughly 1% 2% of the project valuation (varies with size)
- · Records maintenance fee
- Bridge and Thoroughfare (B&T) fee (for new residential dwelling units)
- Sewer connection fee (for new sewer connections)
- · Other State and local fees

City staff can prepare an estimate of City fees upon request.

Outside agencies may have additional fees which are collected by those agencies. Approvals / proof of payment are required before permit issuance.



Building Inspections

Building Inspectors inspect the project during construction for compliance with building codes and the approved plans.

The City generally provides next-day building inspections if scheduled before 2:30 p.m. A morning or afternoon inspection can be requested and will usually be accommodated (depending on inspection activity levels).

Make the Building Inspector aware of any field discrepancies or potential revisions as early as possible.

For small revisions or clarifications, the inspector may accept a detail or letter from the designer. For larger revisions, the plans must be updated and approved by the City plan review staff. Depending on the scope of the revisions, up to two weeks may be required for review. Additional plan review fees may apply.

A building permit is active for 180 days from the issued date or from the last inspection.





39

Building Inspections

Be sure to schedule inspections in a timely manner, but not too early. Consistently scheduling building inspections before the work is ready may result in re-inspection fees.

Special Inspection is required by the Building Code for certain items where the City Building Inspector cannot be on-site full-time (epoxy, welding, etc.).

Remember to schedule a final inspection once all of the work is completed.

Although the City maintains copies of permits and plans, you should also keep your permit and inspection documents.

Our Building Inspectors have assisted thousands of projects through the inspection process, and they can provide valuable feedback.

In 2017 City Building Inspectors completed an average of 85 inspections per day!



Thank You!

City of Santa Clarita Permit Center

23920 Valencia Boulevard Suite 140 Santa Clarita, CA 91355

Planning: (661) 255-4330 *Engineering Services:* (661) 286-4060 *Building & Safety:* (661) 255-4935

www.santa-clarita.com