

CITY OF SANTA CLARITA
Master Case Number 08-098
Sign Review 08-005
Per Code Section 17.19
Of the Unfired Development Code

Date: 7/17/2008

Applicant: Canyon Center II Shopping Center
16861 Ventura Blvd. #303
Encino, CA 91436

Request: The applicant is requesting approval of a master sign program through a Sign Review permit for an existing retail shopping center, "Canyon Center" located at 19339 Soledad Canyon in the CC (Community Commercial) zone.

Findings: The Community Development Department has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this sign review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL

GENERAL

- GC1. The approval of this project shall expire if not put into use within one (1) year from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code.
- GC2. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than sixty (60) days prior to expiration.
- GC3. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.

- GC4. Unless otherwise apparent from the context, the term “applicant” shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attach, set aside, void, or annul the approval of this Project by the City, which action is provided for in Government Code Section 66499.37. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this Condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) The City bears its own attorneys’ fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC5. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC6. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC7. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC8. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must be returned to the Planning Division before approval is granted.
- GC9. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

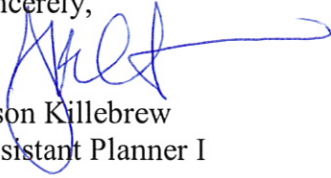
- PL1. The applicant is granted approval of a master sign program for the Canyon Center II located at 19933 Soledad Canyon Road, subject to the following conditions of approval and the approved sign program on file with the Planning Division. All signs shall be developed in accordance with the Canyon Center II approved sign program submitted by Promotion Plus Sign Company.

- PL2. Prior to issuance of building permits for tenant signage, the applicant shall remove all non-conforming/non-permitted signs including but not limited to the Molar Manor sign on the west portion of the building next to the Antique Store, and the Wells Fargo signage on building pad F.
- PL3. The applicant shall be permitted to re-install the following signs, above their respective tenant spaces, following the refacade/remodel of the Canyon Center II. Any signs not listed below shall not be installed.
- a. Ventura Marble and Tile (24''H x 21')
 - b. Supercuts (23''H x 13'-1'')
 - c. Mike's Jewelry (24''H x 12'-3'')
 - d. Angel Nails (23''H X 10'-2'')
 - e. Fashion Furniture (24''H X 24'8'')
 - f. Antique Shop (25''H x 16'2'')
 - g. Dollar Tree (25''H X 21'-5'')
 - h. Big Lots (48''H X 21'-6'')
 - i. AutoZone (24''H X 21'6'')
 - j. Family Florist (15''H X 9'7'')
 - k. UPS Store (29'' H X 14'-1'')
 - l. Subway (26''H X 13'-3'')
 - m. Temptation Beauty (21''H X 13'-3'')
 - n. S & S Bakeshop (22'' HX 23'9'') (Exposed neon to be covered.)
 - o. Flaming Grill (42'' X 11'-4'') (Exposed neon to be covered)
 - p. Wells Fargo (36'' x 18'6'')(Two (2) Permitted signs only)
- PL4. The existing tenant signs not listed in PL3 above shall be removed and replaced with approved signs in accordance with the approved sign program on file with the City of Santa Clarita Planning Division.
- PL5. All new signs shall conform with the approved master sign program on file with the City of Santa Clarita Planning Division.
- PL6. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
- PL7. The signs shall not be located in such a manner as to impede traffic or sight visibility.
- PL8. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
- PL9. This approval must be used within one (1) year from the date of issuance. This approval shall be considered null and void if not acted upon by July 17, 2009.

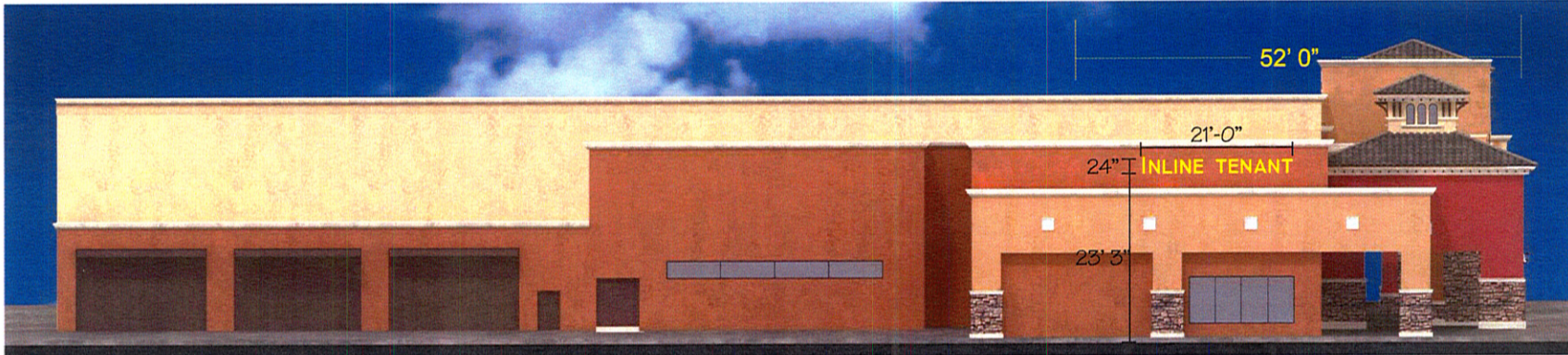
PL10. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this permit. The notarized affidavit then must be returned to the Community Development Department before approval is granted.

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

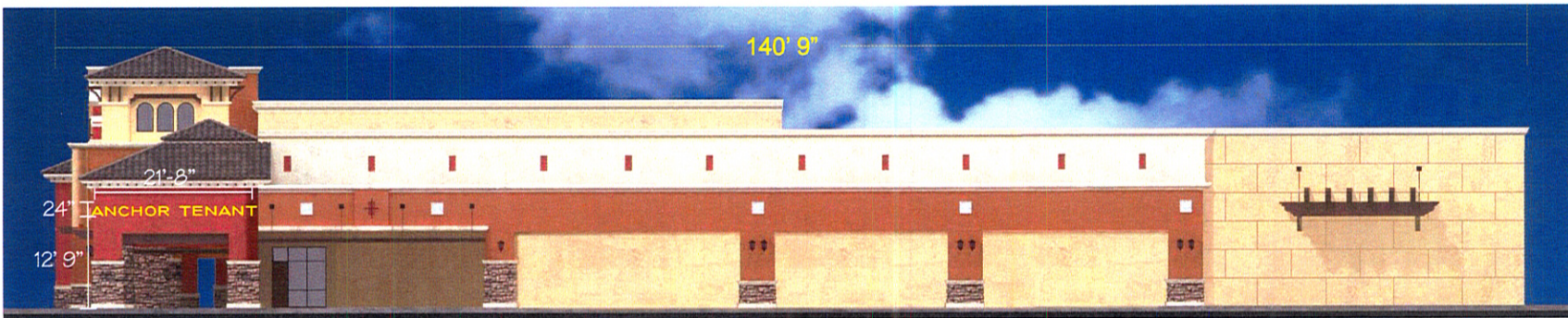
Sincerely,



Jason Killebrew
Assistant Planner I



WEST ELEVATION



EAST ELEVATION

ARCHITECT
Lima Hizon Luzano
ARCHITECTS

323.888.9080

Canyon Center II Building C & D

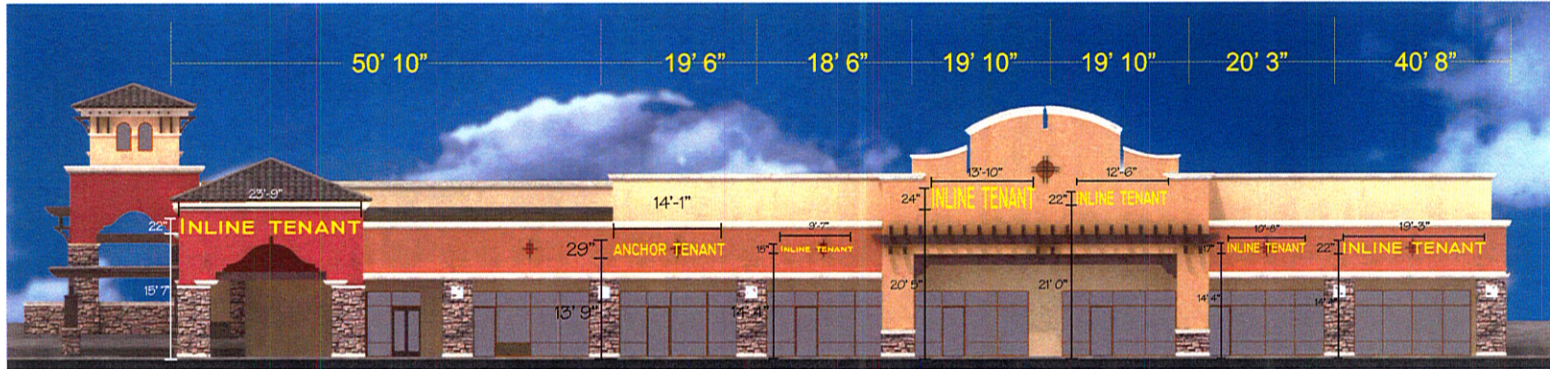
19307-27264 Soledad Canyon Road, Santa Clarita California

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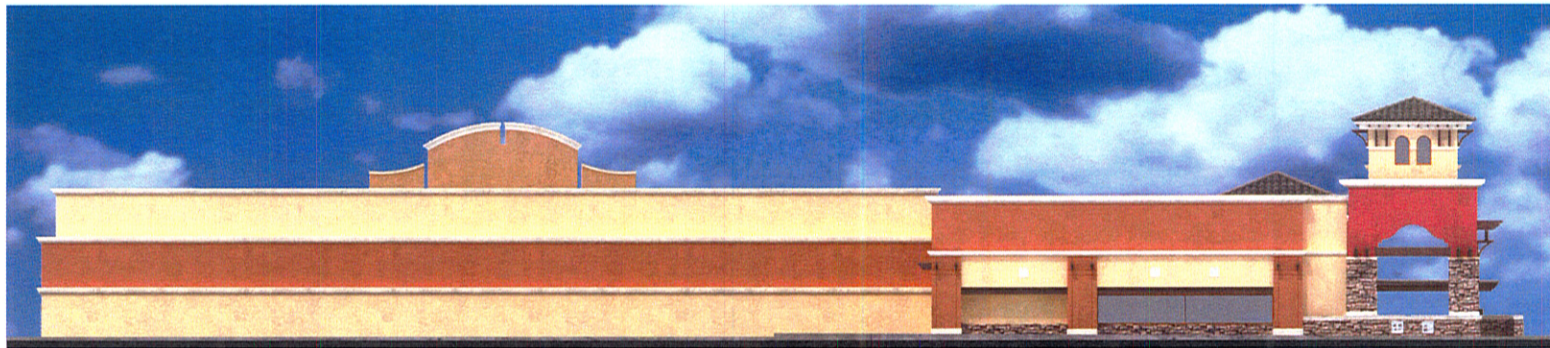
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WITHOUT AUTHORIZATION, PROMOTION PLUS IS UNABLE TO PROCESS YOUR ORDER.
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Proudly Distributing True Signs!
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ST. LIC. 853228
E-MAIL PERMITS@PROMOTIONPLUSINC.COM

SIGNS & SERVICE
LOCATION:
REVISION #:
COMPUTER INFO:

DRAWN STEVE AXWORTHY
CHECKED
DATE 6-03-08
SHEET TITLE RENDERINGS
JOB NO. CANYON CENTER
SHEET 2



NORTH ELEVATION



SOUTH ELEVATION

ARCHITECT
 Lima Hizon Luzano
 ARCHITECTS

 323.888.9060

Canyon Center II Building E

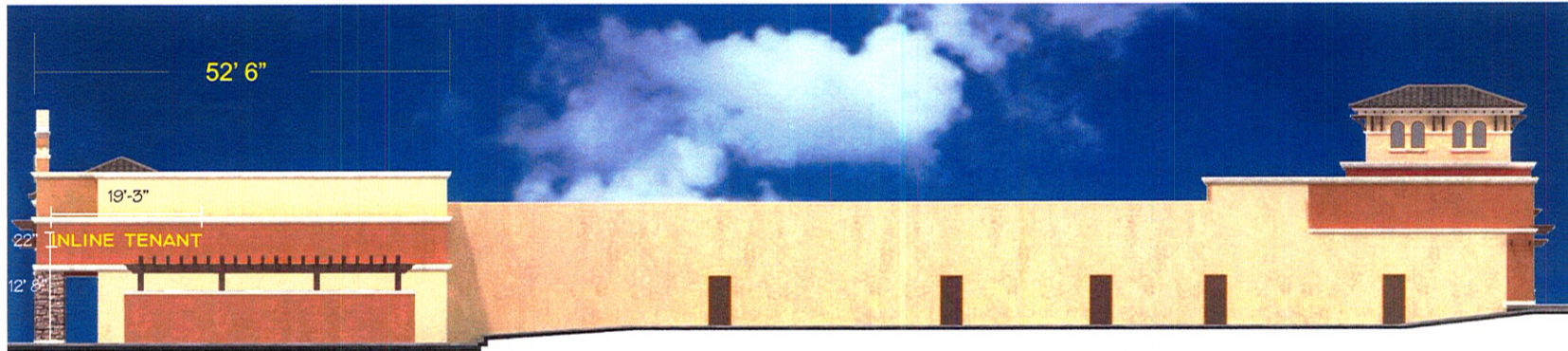
19307-27264 Soledad Canyon Road, Santa Clarita California

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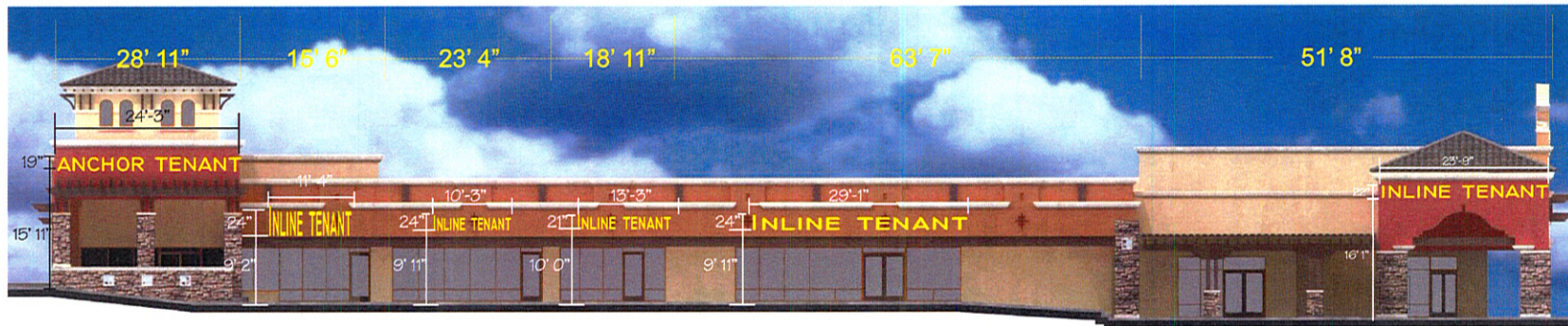
PLEASE AUTHORIZE HERE X
 WITHOUT AUTHORIZATION, PROMOTION PLUS IS UNABLE TO PROCESS YOUR ORDER.
PROMOTION PLUS
 Validated for Licensing Use Only
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 ST. LIC. 853228
 E-MAIL PERMITS@PROMOTIONPLUSINC.COM

DRAWN	STEVE AXWORTHY
CHECKED	
DATE	6-03-08
SHEET TITLE	RENDERINGS
JOB NO.	CANYON CENTER
SHEET	3

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WEST ELEVATION



EAST ELEVATION

ARCHITECT
 Lima Hizon Luzano
 ARCHITECTS

 323.888.9080

Canyon Center II Building E

19307-27264 Soledad Canyon Road, Santa Clarita California

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PROMOTION PLUS
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 Sr. Lic. 853228
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 COMPUTER INFO:
 LOCATION:
 REVISION #:
 SIGNS & SERVICE

DRAWN	STEVE AXWORTHY
CHECKED	
DATE	6-03-08
SHEET TITLE	RENDERINGS
JOB NO.	CANYON CENTER
SHEET	4



NORTH ELEVATION



SOUTH ELEVATION

Canyon Center II Building F

19307-27264 Soledad Canyon Road, Santa Clarita California

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PLEASE AUTHORIZE HERE **X**
 WITHOUT AUTHORIZATION, PROMOTION PLUS IS UNABLE TO PROCEED WITH PERMITS.
PROMOTION PLUS
 (Specialty Signage & Graphics)
 PH: 818-993-5406 / FX: 818-993-3174
 ST. LIC. 853228
 E-MAIL PERMITS@PROMOTIONPLUSINC.COM

DRAWN STEVE AXWORTHY
CHECKED
DATE 6-03-08
SHEET TITLE RENDERINGS
JOB NO. CANYON CENTER
SHEET 5

REVISIONS	BY
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PLEASE AUTHORIZE HERE X
 WITHOUT AUTHORIZATION FROM PROMOTION PLUS IS UNABLE TO PROCESS YOUR ORDER

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"Validated In-Home Signage for Profit"
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 ST. LIC. 853228

SIGNS & SERVICE
 LOCATION:
 REVISION #:
 COMPUTER INFO: E-MAIL PERMITS@PROMOTIONPLUSINC.COM

DRAWN	STEVE AXWORTHY
CHECKED	
DATE	6-03-08
SHEET TITLE	RENDERINGS
JOB NO.	CANYON CENTER
SHEET	6



EAST ELEVATION



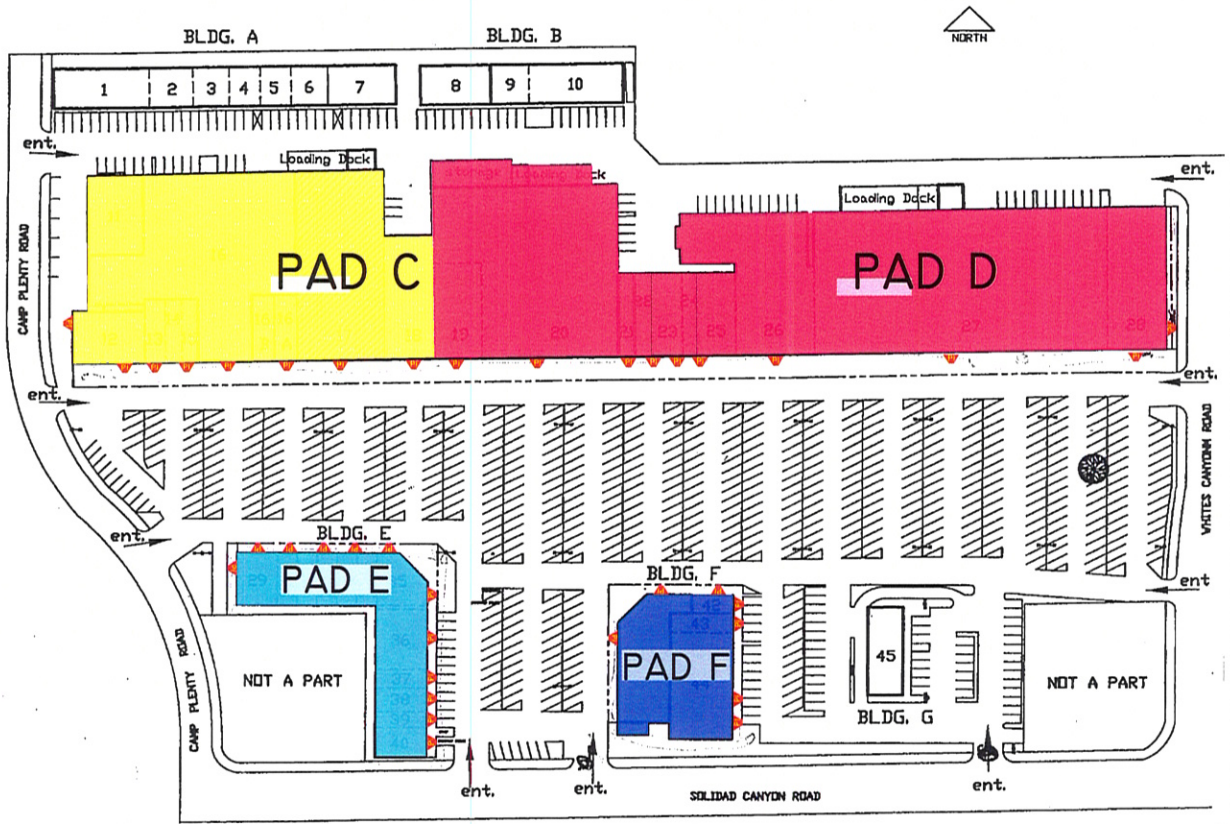
WEST ELEVATION

ARCHITECT
 Lima Hizon Luzano
 ARCHITECTS

 323.888.9080

Canyon Center II Building F

19307-27264 Soledad Canyon Road, Santa Clarita California



CANYON CENTER 11
SCALE NTS = 1/4" = 1'-0"

REFERENCE

NOT PART OF THIS PROJECT

- BLDG A
 1. EURO TECH AUTO REPA
 2. S.C. HOUSE OF BMRS
 3. R&G AUTOSHOP
 4. CANYON RADIATOR
 5. CANYON RADIATOR
 6. HOMECRAFT CABINET
 7. PACIFIC SMOG

- BLDG B
 8. MARIO, THE MECHANIC
 9. QUICK SMOG
 10. H/P TRANSMISSION

- BLDG C
 11. G&M AUTO REPAIR
 12. VENTURA MARBLE & TILE 24" X 21"
 13. SUPERCUTS 23" X 13'-1"
 14. MIKES JEWELRY 24" X 12'-3"
 15. ANGELES NAILS 23" X 10'-2"
 16. FASHION FURNITURE 24" X 24'-8"

17. ANTIQUES SHOP 24" X 16'-2"
 18. SANTA CLARITA LAVANDERIA 32" X 24'-2"

- BLDG D
 19. CONCEPT FASHIONS 24" X 32"
 20. T.J. MAX 23" X 16'-0"
 21. ADVANCE AMERICA 24' X 12'-9"
 22. M.D. WEIGHT CONTROL 36" X 12' -11"
 23. RADIO SHACK 24" X 18'-5"
 24. BRIDAL
 25. BRIDAL 24' X 8' -9"
 26. DOLLAR TREE 25' X 21' -5"
 27. BIG LOTS 48" X 21'-6"
 28. AUTO ZONE 24" X 21'-8"

- BLDG E
 29. VIDEO DEPOT 22" X 19'-3" & 22" x 19'-3"
 30. CHRIS'S K-9 CLIPPER 17" X 10'-8"
 31. ROSARITO GRILL 22" X 12'-6"
 32. CHINA EXPRESS 24" X 3'-10"
 33. FAMILY FLOREST 15" X 9'-7"
 34. UPS STORE 29' X 14'-1"
 35. S & S BAKESHOP 22" X 23'=9"
 36. COLDWELL BANKER 24" X 29' -1"
 37. TEMPTATION BEAUTY 21" X 13' -3"
 38. SUBWAY 24" X 13'-3"
 39. FLAMING GRILL 24" X 11'-4"
 40. STARBUCKS 19' X 24' -3"

- BLGG F
 41. CC COWBOY STEAKHOU 24" X 21'-0"
 42. JOHNS BARBER SHOP 13' X 11'-1" & 13' x 11'
 43. ENTERPRISE SHOP 21" X 9'-3"
 44. WELLS FARGO BANK 32" X 17' 7" & 16" X 8'-4"

- BLDG G
 45. KFC

Contents

General Specifications	1
Construction Requirements	2
Miscellaneous Restrictions	3
All Companies Bidding	4
Anchor Tenants	5
In-Line Shop Tenants	6
Center Pylons Signs "A" and "B"	7
Plot Plan	8
Criteria Acceptance	9

A. General; Specifications

1. Purpose: The Purpose of the following criteria is to establish a coordinated sign program that gives each tenant adequate identification, while achieving a unified, attractive appearance among all lease spaces. In order to maintain the integrity of the criteria and balance among all occupants, deviations from the criteria will not generally be approved.
2. City Approval: Prior to signs fabrication, the occupant shall submit (3) copies of drawings of the proposed sign to the City of Santa Clarita Planning and Building Department for approval.
3. Permits: the occupant's contractor shall secure a sign permit from the City of Santa Clarita Planning and Building Department by submitting three (3) copies of fully dimensioned scaled drawings as follows:
 - A. A site plan showing the location of the occupant space on the site.
 - B. An elevation of the occupant space drawn to scale and showing sign placement and occupant space width.
 - C. A detailed elevation of the sign drawn to scale and showing all colors, materials, dimensions, and copy.
 - D. Fabrication and installation details, including structural and engineering data, U.L. Electrical specification
 - E. Any other drawing, details and information as required by the City of Santa Clarita.
4. Cost of permits: All permits for signs and the installation thereof shall be obtained by the occupant' contractor and paid for by the occupants.
5. Compliance with Code: All sings and the installation thereof shall comply with all current local zoning, building and electrical codes and codes that may be enacted in the future.

B. Construction Requirements

1. **Faster:** All exterior signs, bolts, fastenings, and clips shall be cadmium plated steel, stainless steel, aluminum, brass or bronze. No black iron or other rust prone materials of any type will be permitted.
2. **Conduit Openings:** Location of all openings for conduits in the walls of the building shall be indicated by sign drawings submitted to and approved in writing by the property owner of the occupants premises.
3. **Scaling of Openings:** All penetrations of the building structure required for sign installation and which have been approved in writing by the property owner of the occupants premises, shall be neatly sealed un a water light condition.
- 4 **Labels:** A " U.I.," Label must be placed on every separate electrical sign element (e.g. Every sign cabinet or channel letter). All Required labels must be placed in a conspicuous are allowed.
5. **Concealment of Mechanical Equipment :** No Raceways, crossovers, conductors, transformers and other equipment shall be concealed.
6. **Repair of Damages:** The occupants is responsible for assuring that the sign contractor repairs (in a good and workman like manner) any damage caused by the contractor's work within two (2) days after such damage is caused.
7. **Responsibility for work:** The occupant shall be fully responsible for the work of its sign contractors.
8. **Cost of electricity:** Electrical service to all signs shall be on the occupant's meters and shall be part of the occupant's operational costs.
9. **Maintenance Section**
10. **Uncertainty of Sign Standards:** If a situation arises not covers by the sign program, the approval responsibility relies on the City Planning & Landlord...

C. Miscellaneous Restrictions

1. Hours of Business and Telephone Numbers : Not on wall Signs within the 25% allowed window area only: Limited to no more than 180 square inches for each business frontage with a customer entrance.
2. Flashing Signs: Animated, Bashing or audible signs will not be permitted.
3. Lettering Painted directly on a building surface, including windows, will not be permitted.
4. Projections above to below the designated sign area will not be permitted.
5. Temporary Signs including, but not limited to: All banners, attention setting, reading board, balloons, streamers, placards, pennants, or portable signs which direct promote, attract, service, or which are otherwise designed to attract attention are prohibited.

D. All Companies Bidding to Manufacture

1. Substitutions: All companies bidding to manufacture and install an occupant's signs are advised that no substitutes will be accepted by the landlords whatsoever, unless so indicated in the specifications which are approved in writing by the landlord. Signs that deviate from these criteria without such approval must be removed at the occupant's expense.
2. Insurance: The occupant's sign fabrication and installation company shall carry Worker's Compensation and Public Liability insurance against all damage suffered to any and all persons and/or property while engaged in the construction of creation of signs in the amount of one million dollars (\$1,000,000.00), combined single limit.
3. Erection: The Occupant's sign company shall completely erect and connect (including all wiring) the subject sign in accordance with these criteria.

E. Inline Tenants: Wall Signs

1. Approval Required: All Signs shall be attached to the building only at a location approved by the landlord and the City of Santa Clarita Planning and Building Department.
2. Main Building ID Sign: The Main business identification sign shall be located on the building fascia at a location approved by the landlord and the City of Santa Clarita Planning and Building Department.
3. Window Sign: The business identification window sign shall be centered on the storefront glass nearest the main pedestrian entrance. The sign shall not exceed 25% of window space and shall be composed of white vinyl element Medium ettering. Copy shall consist of, name of business, hours of operation, and emergency phone numbers.
4. Suite No. Sign: The Suite number signs shall be centered above the door, 4" high 3M vinyl (or equal) white.
5. Sign Type: Inline tenants signs shall be composed of channel letters as per their registered corporate logo.
 - A. Secondary or informational signs are subject to the discretion of the director of Planning and Building.
 - B. The aggregate sign area (all signs on one wall) shall not exceed paragraph #6 below.
 - C. Sandblasted or painted signs are not permitted.
6. Sign Size: Inline tenants signs shall be limited to one (1) square foot of signage per one and half (1.5) foot of linear frontage of the tenant lease space. Signs on side elevations are subject to the city's sign ordinance standards.
 - A. Sign Height: Primary Height: Primary Sign Maximum 24".
 - B. Sign Wide: All wall signs shall not to exceed 75% of the tenant lease space.
 - C. Sign Projection Not to exceed 8" from the face of the building.
7. Logos: Logos box, when permitted are subject to approval of the landlord and the city of Santa Clarita.
 - A. Logo box Height/Width: Maximum of 24" (area included in maximum allowance) and not to exceed 25% of allowable signage.
 - B. Log Return Color Paint to match building colors or corporate colors.
 - C. Sign Projection: Not to exceed 8" from the face of the building.
8. Materials:
 - A. Sign Face Material: Acrylic sheet (i.e. Plexiglas) corporate color standards are allowed.
 - B. Letter Return Material: Sheet metal or aluminum painted to match building colors or corporate colors.
 - C Letter Return Depth: Not to Exceed 8" from the face of the building.
 - D Trim Cap Size: 3/4"
- 9 Lighting:
 - A. Type of lighting (channel Letters): Non exposed Neon 30 ma.
 - B. All signs to be UL listed.
 - C. Channel letters may be illuminated with front and halo lighting.

F. Anchor Tenant Wall Signs.

1. Approval Required: All Signs Shall be attached to the building only at a location specified by the criteria and approved by the landlord and the City of Santa Clarita Planning and Building Department.
2. Main Building ID Sign: The main business Identification sign shall be located on the building fascia at a location approved by the landlord and the City of Santa Clarita Planning and Building Department.
3. Window Sign: The business identification window sign shall be centered on the storefront glass nearest the main pedestrian entrance. The sign shall not exceed 25% of window space and shall be composed of white vinyl Helvetica Medium Lettering. Copy shall consist of, name of business, hours of operation and emergency phone numbers.
4. Sign Type: Anchor tenants signs shall be composed of channel letters as per their registered corporate logo.
 - A. Secondary or informational signs may be allowed at the discretion of the Director of Planning and Building if these signs are used in the total corporate identity.
 - B. The aggregate sign area (all signs on one (1) wall) shall not exceed paragraph #5 below.
 - C. Sandblasted or painted signs are not permitted.
5. Sign Size: Anchor tenant signs shall be limited to one (1) square foot of signage per one and half (1.5) foot of linear frontages of the tenant lease space.
 - A. Sign Height: Primary sign maximum 48".
 - B. Corporate Logos with Sub-Copy and /or ascenders and descenderd shall not exceed a maximum total of 60" in height .
 - C Sign Width: All wall signs shall not 75% of the tenant lease space.
 - D. Sign Projection: Not to exceed 8" from the face of the building.
6. Materials:
 - A. Sign Face Material: Acrylic sheet (i.e. Plexiglas). Corporate color standards are allowed.
 - B. Letter Returns or Cabinet Material: Sheet metal or aluminum painted to match building colors or corporate colors.
 - C. Letter Returns depth not to exceed 12" from the face of the building.
 - D. Trim-cap size: 3/4"
7. Lighting:
 - A. Type of Lighting (channel letters): Neon (no exposed tubing) 30 ma.
 - B. All signs to be UL listed.
 - C. Channel Letters may be illuminated with front and halo lighting.

*For the purposes of the sign program, an Anchor Tenant is a tenant is a tenant meeting both of the following criteria.

1. A single tenant occupying 25,000 or more square feet of building area, with a minimum tenant space frontage of 100 feet.
2. A key tenant which serves to attract customers to the shopping center through its size, product line, name and reputation.
3. All other tenants will be considered Inline Tenants.

G. Center Pylon Signs

1. Sign Type: Double faced
2. Sign Size: Center pylon signs shall be dimensioned as follows:
 - A. Sign Height: 15' from sidewalk grade adjacent public
 - B. Minimum set back shall be three feet (3") from the sidewalk.
 - C. Sign Area: 48 square feet of copy area for each major tenant.
3. Sign copy: Pylon signs will be for the major occupants, as determined by the landlord.
4. Sign Color: All sign colors are subject to approval by the landlord. Occupant must provide color samples. Corporate identification colors will be approved.
5. Materials:
 - A. Cabinet Materials: Sheet metal with painted texture finish.
 - B Occupant Copy: 3M flexible sign faced with 3M film overlay- color as per corporate colors.
6. Interior Illumination:
 - A. Type of Illumination: Fluorescent internally lighting (800 Milliamperes)

Landscaping:

- A. The Base of the sign shall be landscaped to the satisfaction of the Director of community development.

23920 Valencia Blvd.
Suite 300
Santa Clarita
California 91355-2196
Website: www.santa-clarita.com

Phone
(661) 259-2489
Fax
(661) 259-8125



City of
Santa Clarita

City of Santa Clarita
Master Case Number 99-179
Sign Review 99-027
Per Code Section 17.19
of the Unified Development Code

Date: June 28, 1999

Applicant: Ed Gardner
Award Sign Company
1707 South Boyd
Santa Ana, CA 92705

Michael Forest
Forest & Company
16861 Ventura Boulevard, Suite 200
Encino, CA 91436

Request: The applicant is requesting approval of a master sign plan for wall and ground signage and the removal of a non-conforming pole sign at Canyon Center. The project site is located on the north side of Soledad Canyon Road, between Camp Plenty Road and Whites Canyon Road, in the CC, Community Commercial zone.

Findings: The Planning and Building Services Department has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this development review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL / MITIGATION MEASURES

1. This approval allows for the construction of the following ground signs on-site:

Sign Type A - an internally illuminated pylon sign identifying "Canyon Center" and two (2) on-site major tenants. The height of the sign shall not exceed 15 feet above street grade and the sign face shall not exceed 120 square feet. The sign shall be subject to the approved descriptions and schedules.



Sign Type B – an internally illuminated pylon sign identifying “Canyon Center” and two (2) on-site major tenants. The height of the sign shall not exceed 15 feet above street grade and the sign face shall not exceed 120 square feet. The sign shall be subject to the approved descriptions and schedules.

Sign Type C – a non-illuminated parking entry wall sign identifying “Canyon Center” and an arrow directing traffic. One sign shall be permitted along both Camp Plenty Road and Whites Canyon Road on the existing walls and the height of the letters shall not exceed two (2) feet.

2. The approval also allows for wall signage to be erected in place of the existing wall signs. Criteria shall be as follows:

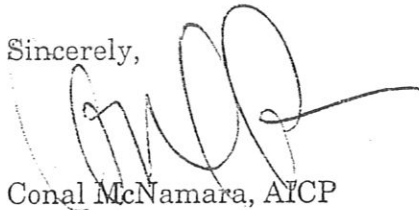
Wall Sign Standards – inline tenant wall signs shall be channel letters or semi-channel letters. The maximum height of letters shall be 24” and the signs shall adhere to the standards of the City’s Sign Ordinance. The sign shall be subject to the approved descriptions and schedules. Anchor tenants, as defined by the Sign Criteria, shall be allowed channel letter or cabinet type signs per their registered corporate logos. The maximum height of the letters shall be 48”, with permissible sub copy, ascenders or decenders totaling no more than 60 inches in height. The signs shall adhere to the standards of the City’s Sign Ordinance and shall be subject to the approved descriptions and schedules.

3. The project shall be developed in conformance with the approved plan. Any changes shall be subject to further review by the Director of Planning and Building Services.
4. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
5. The signs shall not be located in such a manner as to impede traffic or sight visibility.
6. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
7. The applicant shall remove all existing, non-complying ground and wall signage prior to installation of signage per the following schedule:
 - Prior to installation of Sign Type A, the non-conforming “Grab Bag” sign shall be removed.
 - Prior to installation of Sign Type B, the non-conforming “Rattler’s” sign shall be removed.

- Prior to November 13, 1999, the non-complying "TJ Maxx" sign and all non-complying rear wall signs on the back of Suites E-1 through E-12 (as identified on the Sign Criteria site plan) shall be removed.
- 8. This approval must be used within one year from the date of issuance. This approval shall be considered null and void if not acted upon by June 25, 2000.
- 9. The applicant must sign the attached notarized affidavit to confirm acceptance of the above conditions. The notarized affidavit must be returned to the Planning and Building Services Department before approval is granted.
- 10. The Center's address shall be placed on both Sign Type A and B.
- 11. A sign permit shall be required for any sign erected on-site.

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

Sincerely,



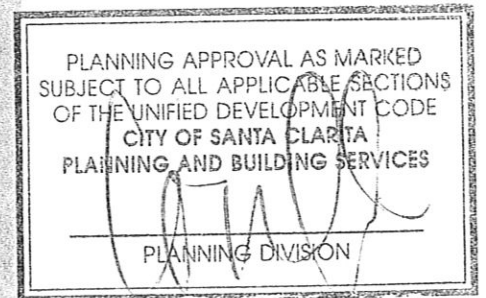
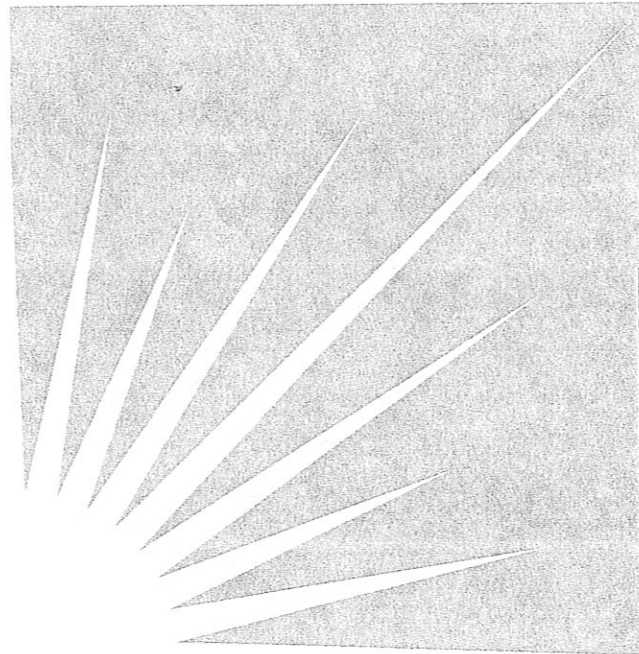
Conal McNamara, AICP
Associate Planner

enclosure

cc: Kyle Lancaster, Code Enforcement

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SIGN CRITERIA



PER MC
99-179

CANYON CENTER

SANTA CLARITA, CA

Contents

General Specifications	A
Construction Requirements	B
Miscellaneous Restrictions	C
All Companies Bidding	D
Anchor Tenants	E
In-Line Shop Tenants	F
Center Pylon Signs "A" and "B"	G
Plot Plan	H
Criteria Acceptance	I

A. General Specifications

1. Purpose: The purpose of the following criteria is to establish a coordinated sign program that gives each tenant adequate identification, while achieving a unified, attractive appearance among all lease spaces. In order to maintain the integrity of the criteria and balance among all occupants, deviations from the criteria will not generally be approved.
2. City Approval: Prior to sign fabrication, the occupant shall submit three (3) copies of drawings of the proposed sign to the City of Santa Clarita Planning and Building Department for approval.
3. Permits: the occupant's contractor shall secure a sign permit from the City of Santa Clarita Planning and Building Department by submitting three (3) copies of fully dimensioned scaled drawings as follows:
 - a. A site plan showing the location of the occupant space on the site.
 - b. An elevation of the occupant space drawn to scale and showing sign placement and occupant space width.
 - c. A detailed elevation of the sign drawn to scale and showing all colors, materials, dimensions and copy.
 - d. Fabrication and installation details, including structural and engineering data, U.L. electrical specification
 - e. Any other drawings, details and information as required by the City of Santa Clarita.
4. Cost of permits: All permits for signs and the installation thereof shall be obtained By the occupant' contractor and paid for by the occupants.
5. Compliance with Code: All signs and the installation thereof shall comply with all current local zoning, building and electrical codes and codes that may be enacted in the future.

B. Construction Requirements.

1. Fasteners: All exterior signs, bolts, fastenings and clips shall be cadmium plated steel, stainless steel, aluminum, brass or bronze. No black iron or other rust prone materials of any type will be permitted.
2. Conduit Openings: Location of all openings for conduits in the walls of the building shall be indicated by sign drawings submitted to and approved in writing by the property owner of the occupants premises.
3. Sealings of Openings: All penetrations of the building structure required for sign installation and which shall have been approved in writing by the property owner of the occupants premises, shall be neatly sealed in a water tight condition.
4. Labels: A "U.I." label must be placed on every separate electrical sign element (e.g. every sign cabinet or channel letter). All required labels must be placed in a conspicuous location. No other labels are allowed.
5. Concealment of Mechanical Equipment: Raceways, crossovers, conductors, transformers and other equipment shall be concealed.
6. Repair of Damages: The occupant is responsible for assuring that the sign contractor repairs (in a good and workman like manner) any damage caused by the contractor's work within two (2) days after such damage is caused.
7. Responsibility for work: The occupant shall be fully responsible for the work of its sign contractors.
8. Cost of electricity: Electrical service to all signs shall be on the occupant's meters and shall be part of the occupant's operational costs

C. Miscellaneous Restrictions

1. Hours of Business and Telephone Numbers: Limited to no more than 180 square inches for each business frontage with a customer entrance.
2. Flashing Signs: Animated, flashing or audible signs will not be permitted.
3. Lettering painted directly on a building surface, including windows, will not be permitted.
4. Projections above or below the designated sign area will not be permitted.
5. Temporary Signs: All banners, balloons, streamers, placards, pennants, or portable signs which direct promote, attract, service, or which are otherwise designed to attract attention are prohibited.

D. All Companies Bidding to Manufacture

1. Substitutions: All companies bidding to manufacture and install an occupant's signs are advised that no substitutes will be accepted by the landlord whatsoever, unless so indicated in the specifications which are approved in writing by the landlord. Signs that deviate from these criteria without such approval must be removed at the occupant's expense.

2. Insurance: The occupant's sign fabrication and installation company shall carry Worker's Compensation and Public Liability Insurance against all damage suffered to any and all persons and/or property while engaged in the construction or erection of signs in the amount of One Million Dollars (\$1,000,000.00), combined single limit.

3. Erection: The occupant's sign company shall completely erect and connect (including all wiring) the subject sign in accordance with these criteria.

E. Inline Tenants: Wall Signs

1. Approval Required: ALL SIGNS shall be attached to the building only at a location approved by the landlord and the City of Santa Clarita Planning and Building Department.
2. Main Building ID Sign: The main business identification sign shall be located on the building fascia at a location approved by the landlord and the City of Santa Clarita Planning and Building Department.
3. Window Sign: The business identification window sign shall be centered on the storefront glass nearest the main pedestrian entrance. The sign shall not exceed 25% of window space and shall be composed of white vinyl Helvetica Medium lettering. Copy shall consist of, name of business, hours of operation, and emergency phone numbers.
4. Suite No. Sign: The suite number sign shall be centered above the door, 4" high 3M vinyl (or equal) white.
5. Sign Type: Inline tenants signs shall be composed of channel letters and/or semi-channel letters as per their registered corporate logo.
 - a. Secondary or informational signs are subject to the discretion of the Director of Planning and Building.
 - b. The aggregate sign area (all signs on one wall) shall not exceed paragraph #6 below.
 - c. Sandblasted or painted signs are not permitted.
6. Sign Size: Inline tenants signs shall be limited to one (1) square foot of signage per one (1) foot of Linear frontage of the tenant lease space. Signs on side elevations are subject to the City's sign ordinance standards.
 - a. Sign Height: Primary Sign Maximum 24".
 - b. Sign Wide: All wall signs shall not to exceed 75% of the tenant lease space.
 - c. Sign Projection: Not to exceed 8" from the face of the building.
7. Logos: Logos box, when permitted are subject to approval of the landlord and the City of Santa Clarita.
 - a. Logo box Height/Width: Maximum of 24" (area included in maximum allowance) and not to exceed 25% of allowable signage.
 - b. Logo Return Color: Paint to match building colors or corporate colors.
 - c. Sign Projection: Not to exceed 8" from the face of the building.
8. Materials:
 - a. Sign Face Material: Acrylic sheet (i.e. Plexiglas) corporate color standards are allowed.
 - b. Letter Return Material: Sheet metal or aluminum painted to match building colors or corporate colors.
 - c. Letter Return Depth: Not to exceed 8" from the face of the building.
 - d. Trim Cap Size: 3/4"
9. Lighting:
 - a. Type of Lighting (channel letters): Neon 30ma.
 - b. Type of Lighting (cabinets): Fluorescent 800ma
 - c. All signs to be UL listed.
 - d. Channel Letters may be illuminated with front and halo lighting.

F. Anchor Tenant Wall Signs

1. Approval Required: ALL SIGNS shall be attached to the building only at a location specified by these criteria and approved by the landlord and the City of Santa Clarita Planning and Building Department.
2. Main Building ID Sign: The main business identification sign shall be located on the building fascia at a location approved by the landlord and the City of Santa Clarita Planning and Building Department.
3. Window Sign: The business identification window sign shall be centered on the storefront glass nearest the main pedestrian entrance. The sign shall not exceed 25% of window space and shall be composed of white vinyl Helvetica Medium lettering. Copy shall consist of, name of business, hours of operation, and emergency phone numbers.
4. Sign Type: Anchor Tenants signs can be composed of channel letters, or cabinet type signs as per their registered corporate logo.
 - a. Secondary or informational signs may be allowed at the discretion of the Director of Planning and Building if these signs are used in the total corporate identity.
 - a. Secondary tenants within the anchor lease space will be allowed signage on the front elevation of the anchor tenant. Maximum height of the letters shall be 24".
 - b. The aggregate sign area (all signs on one (1) wall) shall not exceed paragraph #5 below.
 - c. Sandblasted or painted signs are not permitted.
5. Sign Size: Anchor tenant signs shall be limited to one (1) square foot of signage per one (1) foot of linear frontages of the tenant lease space.
 - a. Sign Height: Primary sign maximum 48".
 - b. Corporate Logos with Sub-Copy and/or ascenders and descenders shall not exceed a maximum total of 60" in height.
 - c. Sign Width: All wall signs shall not exceed 75% of the tenant lease space.
 - d. Sign Projection: Not to exceed 8" from the face of the building.
6. Materials:
 - a. Sign Face Material: Acrylic sheet (i.e. Plexiglas). Corporate color standards are allowed.
 - b. Letter Return or Cabinet Material: Sheet metal or aluminum painted to match building colors or corporate colors.
 - c. Letter Return or Cabinet Depth: Not to exceed 12" from the face of the building.
 - d. Trim-Cap Size: 3/4"
7. Lighting :
 - a. Type of Lighting (Channel Letters): Neon (no exposed tubing) 30ma.
 - b. Type of Lighting (Cabinets): Fluorescent 800ma.
 - c. All signs to be UL listed.
 - d. Channel Letters may be illuminated with front and halo lighting.

*For the purposes of this sign program, an Anchor Tenant is a tenant meeting both of the following criteria.

1. A single tenant occupying 25,000 or more square feet of building area, with a minimum tenant space frontage of 100 feet.
2. A key tenant which serves to attract customers to the shopping center through its size, product line, name and reputation.
3. All other tenants will be considered Inline Tenants.

G. Center Pylon Signs

1. Sign Type: Double faced
2. Sign Size: Center pylon signs shall be dimensioned as follows:
 - a. Sign Height: 15' at street level
 - b. Minimum set back shall be three feet (3') from the sidewalk.
 - c. Sign Area: 48 square feet of copy area for each major tenant.
3. Sign Copy: Pylon signs will be for the major occupants, as determined by the landlord.
4. Sign Colors: All sign colors are subject to approval by the landlord. Occupants must provide color samples. Corporate identification colors will be approved.
5. Materials:
 - a. Cabinet Materials: Sheet metal with painted texture finish.
 - b. Occupant Copy: 3M flexible sign faces with 3M film overlay – colors as per corporate colors.
6. Interior Illumination:
 - a. Type of Illumination: Fluorescent lighting (800 Milliamperes)

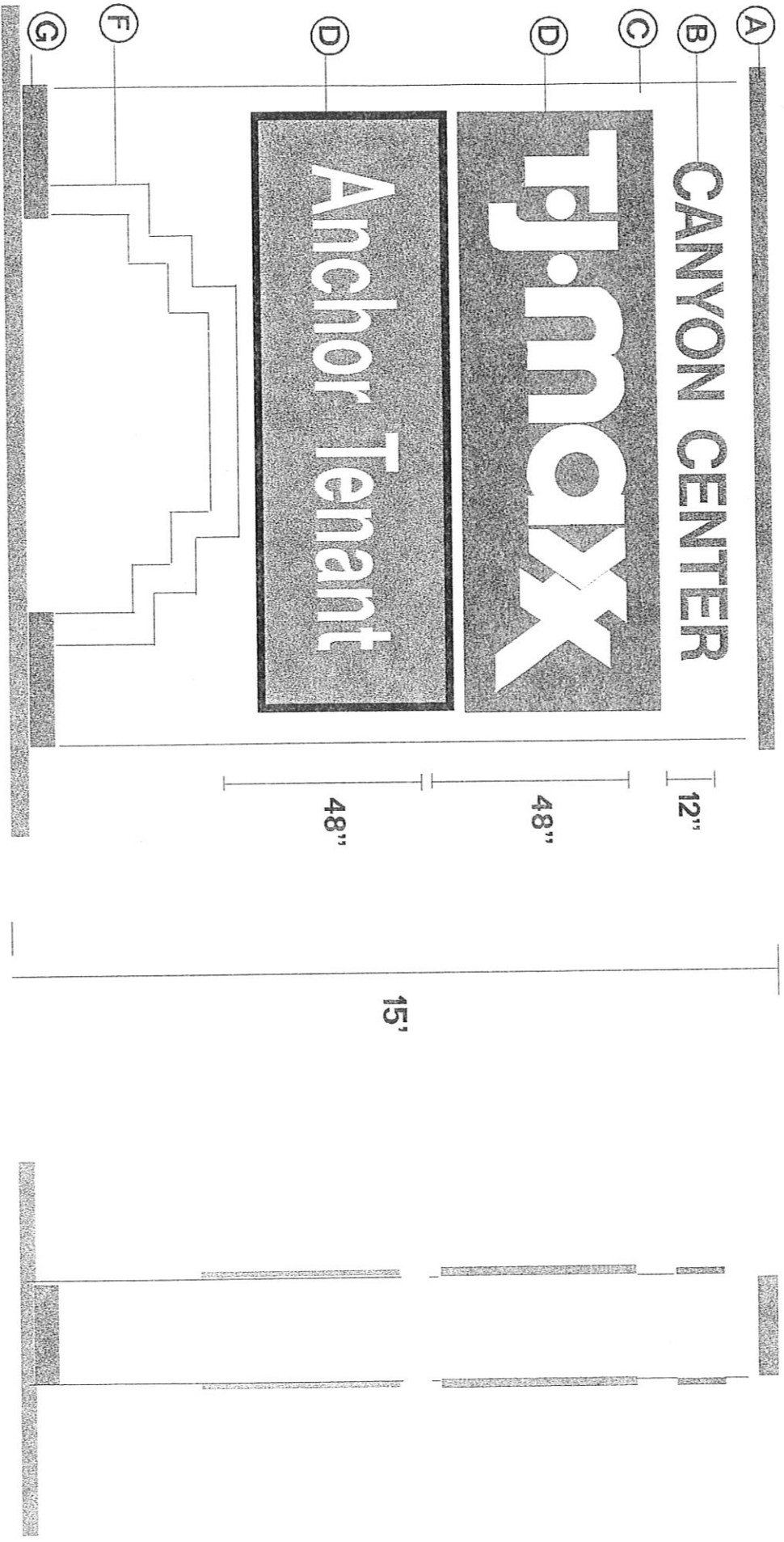
Landscaping:

- a. The base of the sign shall be landscaped.

Anchor Pylon Sign "B"

13'

12'



A Sheet metal Tex-coated to match building

B Trim cap letters (Illuminated) as per Center colors

C Sheet metal Tex-coated color to match building

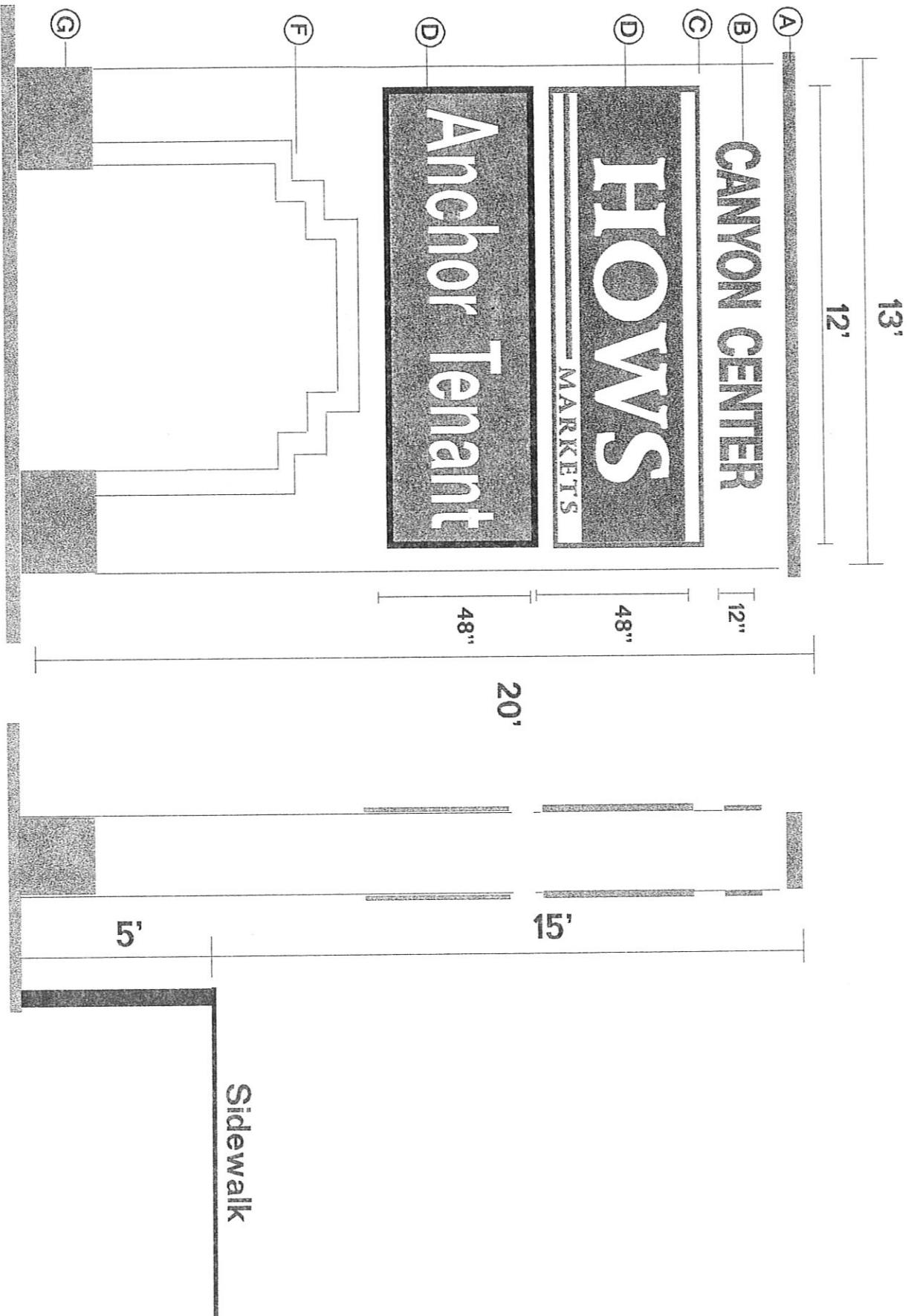
D Sign Panel: to be 3M panaflex with 3M film overlay - colors as per corporate colors

E Address: to be sintra non-illuminated painted to match corporate colors

F Trim Panel: to be a sheet metal Tex-coated to match building

G Base: Sheet metal Tex-coated to match building colors

Anchor Pylon Sign "A"



- A Sheet metal Tex-coated to match building
- B Trim cap letters (Illuminated) as per Center colors
- C Sheet metal Tex-coated color to match building
- D Sign Panel: to be 3M panaflex with 3M film overlay- colors as per corporate colors

- E Address: to be sintra non-illuminated painted to match corporate colors
- F Trim Panel: to be a sheet metal Tex-coated to match building
- G Base: Sheet metal Tex-coated to match building colors

PROPERTY OWNER APPROVAL OF CRITERIA:

Signature: _____ Date: _____

Printed Name: _____ Title: _____

OCCUPANT ACKNOWLEDGMENT*:

I have read, understand, and agree to abide by the above Sign Criteria.

Signature: _____ Date: _____

Printed Name: _____ Title: _____

* Each occupant must be supplied with a copy of these criteria and sign the above acknowledgment.