

Project Location:

Thomas Guide Page 4551, Grid C-3
Between Golden Valley Road and Carl Boyer Dr.
Santa Clarita, CA
91355

Governing Agency:

Centre Pointe Architectural Review Committee (ARC)
c/o Spirit Properties
21070 Centre Pointe Parkway
Santa Clarita, CA
91350

Owner:

Centre Pointe Marketplace LLC
Contact: Darcey Oldhafer
25322 Rye Canyon Road
Valencia, CA
91355
Tel: 661.702.2262

City Planning Department:

City of Santa Clarita
Planning and Economic Development
Contact: Patrick Leclair
23920 Valencia Boulevard
Suite 300
Valencia, CA
91355
Tel: 661.255.4330

Architect:

Benner Stange Associates
Contact: Jeff Benner
5000 South West Meadows Road
Suite 430
Lake Oswego, OR
97035
Tel: 503.670.0234

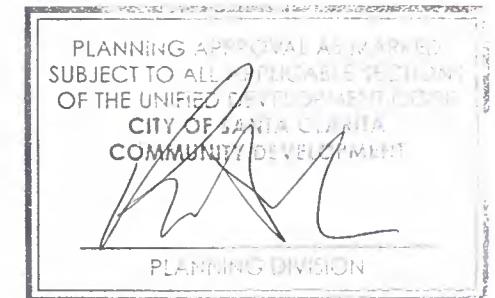
Sign Consultant:

Image Factor, Inc.
Contact: Cary Llewelyn
25317 West Avenue Stanford
Valencia, CA
91355
Tel: 661.295.0624
Email: cary@imagefactor.com



P L A N N E D S I G N P R O G R A M

NOV 09 2006



Subject to MC#06-101



Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

TABLE OF CONTENTS

Table of Contents Page 1

Purpose and Intent 2

Maintenance 2

Approvals 3

Uncertainty of Sign Standards 3

Compliance Requirement 4

Design Criteria & General Sign Standards 4

Materials / Illumination 4

Sign Descriptions (Pylon Signs, Monument Signs and On-Building I.D. Signs) 5

Sign Descriptions (Blade Signs, Building Address, ID at Man Doors, 6

Tenant Information on Storefront Glass, Tenant Address on Storefront Glass 6

Project Site Plan 7

Project / Major Tenant Pylon Sign Exhibit 8

Tenant Monument Sign Type (A) Exhibit 9

Major Tenant Monument Sign Type (B) Exhibit 9.a

On Building Identification Sign Exhibit / Notes 10

Tenant Blade Sign Exhibit 11

Project Post & Panel Sign Exhibit 12

Elevations with Tenant Sign Locations (Major Tenant "A") 13

Elevations with Tenant Sign Locations (Major Tenant "B" & Shops "A") 14

Elevations with Tenant Sign Locations (Shops & Restaurants "B" thru "F") 15

Elevations with Tenant Sign Locations (Shops "F" and Bank "G") 16

Elevations with Tenant Sign Locations (Shops "H") 17

PLANNED SIGN PROGRAM

Revised August 3, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

TABLE OF CONTENTS



Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PURPOSE AND INTENT

The purpose of this Planned Sign Program is to ensure that both project & tenant signage contribute to the success of Centre Pointe Marketplace, this project will require high quality creative signage that reflects the integrity of the building architecture. Tenants will be encouraged to incorporate a wide variety of sign styles, icons and materials, this will help create a warm and inviting experience for the retail visitor.

MAINTENANCE

All signs within "Centre Pointe Marketplace" shall be maintained in an as-new condition in accordance with the CC&R's for the project. Inspections of all signs on site will be made periodically. Any deficiencies shall be immediately corrected by the party responsible for said signs, if the party responsible (the tenant) does not have the sign repaired with in (7) days, the landlord has the right to hire a sign contractor to make the repairs, the cost of the repairs will be back charged to the party responsible (the tenant).

PLANNED SIGN PROGRAM

Revised August 3, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

PURPOSE AND INTENT
MAINTENANCE



Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised August 3, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

APPROVALS

All tenant signage must have written approval from the landlord and the Centre Pointe Architectural Review Committee (ARC) Prior to City review, eligible sign applicants shall first obtain the approval from the landlord and then Centre Pointe (ARC) by submitting the following:

- (1) Submit (3) copies of the following to the landlord and then to the Centre Pointe (ARC).
 - (a) Site plan and building elevation showing proposed sign locations and dimensions.
 - (b) Proposed materials, finishes, colors and illumination type.
- (2) For city approval submit (3) copies of the drawings as approved by The Centre Pointe Architectural Review Committee to the City of Santa Clarita Planning Department, after planning approval proceed to the Building & Safety Department to obtain sign/building permits, the Building and Safety Department will require the following:
 - (a) Site plan and building elevation showing proposed sign locations and dimensions.
 - (b) Proposed material, finishes, colors and illumination type.
 - (c) Section view showing fabrication and attachment details.
 - (d) Monument / Pylon Signs will need to include engineering done by a civil engineer that is licensed in the State of California.

UNCERTAINTY OF SIGN STANDARDS

If a situation arises that is not covered by these sign standards or there is ambiguity, the sign applicant is referred to the landlord, Centre Pointe Architectural Review Committee and the City of Santa Clarita Planning Department for clarification and determination. The landlord, Centre Pointe (ARC) and the City of Santa Clarita together will then approve signing that best meets the intent of the Project.

APPROVALS
UNCERTAINTY OF SIGN STANDARDS



Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

COMPLIANCE REQUIREMENT

No person shall erect, reerect, construct, enlarge, move, improve, convert or equip any sign or structure, or cause or permit the same to be done contrary to or in violation of any of the provisions of this Planned Sign Program. Conformance will be strictly enforced by the Landlord, Centre Pointe (ARC) and The City of Santa Clarita. All such non conforming or unapproved sign(s) must be brought into conformance at the expense of the person(s) responsible for the sign(s).

DESIGN CRITERIA & GENERAL SIGN STANDARDS

- (1) Sign area is defined as the entire area within a perimeter defined by a continuous line composed of right angles which encloses the extreme outer limits of lettering, logo or trademarks together with any frame or structural trim forming a part of the display used to differentiate the sign from the background against which it is placed.
- (2) The location of the (4) monument signs and the (1) pylon sign shall conform to The City of Santa Clarita site distance triangle. Please note there will only be (4) monument signs and (1) Pylon sign allowed on this project, See site plan for locations.
- (3) All paint on aluminum or acrylic shall be satin polyurethane as manufactured by Matthews Paint Company.
- (4) All signs attached to the building shall consist of fabricated letters, logos and or design elements, all sign components are to be surface mounted. No cabinet/box signs, signs made of foam or signs painted directly on the building will be permitted at Centre Pointe Marketplace. All on-building signs shall be mounted directly onto building surface. No "raceways" will be allowed on this project.
- (5) All Monument and Primary "On Building Identification" signs must be illuminated, these types of signs may be internally or externally illuminated. All lighting techniques and fixtures must be submitted to the landlord, the Centre Pointe (ARC) and the City of Santa Clarita for approval. There will be no flashing, moving or audible signs allowed on this project.
- (6) All attachment hardware shall be stainless steel to preclude rust staining of architectural surfaces and to permit ease of future removal / servicing.

ACCEPTABLE MATERIAL FOR TENANT IDENTIFICATION SIGNS

The following list of materials may be used to fabricate Tenant signage:

Metals: Aluminum, stainless steel, brass, bronze, copper & wrought iron.

Acrylics and Foams: Cast acrylic sheet, polycarbonate, high density pvc sheet, solid surface material as manufactured by Corian/Avonite, Cast polyester resin and 15 lb. urethane foam as manufactured by Sign Foam/Precision Board.

Other Acceptable Materials: Gold/silver leaf, glass, ceramic tile & natural/simulated stone.

UNACCEPTABLE MATERIAL FOR TENANT IDENTIFICATION SIGNS

The following materials/techniques will not be allowed:

Trim Cap: if trim cap is used it must match or be painted to match the color of the return it is attached to.

Styrofoams: The only foam allowed will be 15 lb. urethane foam that is rated for exterior use

Painted on building signs: This type of sign will not be acceptable on this project.

ACCEPTABLE METHODS OF ILLUMINATION

The following lighting techniques may be used to illuminate tenant signage:

Illumination Type: Neon, cold cathode, fiber optics, LED, incandescent, fluorescent or halogen, please note that lighting techniques will be subject to landlord approval as well as Centre Pointe (ARC) and the City of Santa Clarita planning/building department, certain lighting techniques may be rejected due to location of the sign and the impact it will have on neighboring tenants/residents.

PLANNED SIGN PROGRAM

Revised August 3, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

COMPLIANCE REQUIREMENT
DESIGN CRITERIA & GENERAL
SIGN STANDARDS
MATERIALS
ILLUMINATION



Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

SIGN DESCRIPTIONS

Project / Major Tenant Pylon Sign

This sign type is provided for project / major tenant identification only. This type of sign shall be fabricated from aluminum with structural steel posts (see exhibit for details). Sign footings and structural steel shall be the sole responsibility of the sign contractor and his structural engineer which must be licensed in the state of California. Pylon Sign must be set back from curb far enough not to block visibility of street/ driveway traffic. (see site plan for location)

Project / Tenant Monument Signs

These types of signs are provided for ground mounted project / tenant identification. The Project / Tenant Monument Signs will identify the project and the tenants of Centre Pointe Marketplace, please note that due to the amount of tenants at Centre Pointe Marketplace and the allowable sign area determined by the City of Santa Clarita, there may not be enough room on the tenant monument signs for each tenant, the landlord/owner will decide which tenants will be identified on the monument signs, all tenants should refer to their lease for clarification. Eligible tenants will be responsible for the cost of adding their business name to the Tenant Monument Signs and will need to get Landlord approval on the design prior to fabrication.

On Building Identification Signs

These signs are provided for on-building business identification. The copy shall be limited to company name/logo and may be displayed as two lines of copy in company letter/logo style. This sign type must be internally or externally illuminated and be fabricated from one or more of the approved materials listed in this sign program (additional materials may be allowed but must be approved by the landlord). Paint finishes shall be satin polyurethane, colors of signs will be subject to the approval of the landlord, Centre Pointe (ARC) and the City of Santa Clarita Planning Dept. These signs must either have a translucent acrylic face with internal illumination (standard channel type) or be fabricated from aluminum/stainless steel with a clear polycarbonate back (reverse channel type) or fabricated completely from aluminum / stainless steel with external light fixtures. There will be no styrofoam or painted on building signs allowed. All wall signs must have a minimum depth of 3" and a maximum depth of 12". There will be no visible raceways allowed. On-Building Identification Signs shall occur above the storefront but not within 1'-0" from the top or side of the building / tenant space.

Single Occupant Buildings may be allowed (2) primary "On Building Identification Sign" and (1) secondary "On Building Identification Sign", The maximum area allowed for a Primary "On Building Identification Sign is one (1-1/2) square feet for each one (1) linear foot of storefront, the maximum length of a sign must not exceed 75% of the total length of the building frontage. Secondary "On Building Identification Signs" must not exceed 50% of the allowable square footage of the Primary "On Building Identification Signs" or (1-1/2) square feet for each (2) linear feet of the storefront.

Multiple Occupant Buildings may be allowed (1) primary "On Building Identification Sign" and (1) secondary "On Building Identification Sign", The maximum area allowed for a primary "On Building Identification Sign is one (1-1/2) square feet for each linear foot of tenant storefront, the maximum length of a sign must not exceed 75% of the total length of the storefront, Secondary "On Building Identification Signs" must not exceed 50% of the allowable square footage of the Primary "On Building Identification Sign" or (1-1/2) square feet for each (2) linear feet of the storefront. Please note that primary "On-Building Identification Signs" must be located on the same building elevation as the tenant's main entrance.

Tenants in a Multiple Occupant Building that are located at either end may be allowed a third "On-Building Identification Sign" if the following requirements are met: The building elevation where the third sign will be located must face a street or driveway entrance, the sign location and size must be approved by the Landlord, Centre Pointe (ARC) and The City of Santa Clarita Planning Department.

PLANNED SIGN PROGRAM

Revised August 3, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

SIGN DESCRIPTIONS

Project / Major Tenant Pylon Signs
Project / Tenant Monument Signs
On Building Identification Signs



Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised August 3, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

SIGN DESCRIPTIONS

Tenant Identification Blade Signs

Each ground floor tenant will be allowed to have (1) Blade Sign mounted to the building above their main entrance, this type of sign will be double sided with the same information on each side, tenants are encouraged to be creative with this type of sign, unlike On-Building Identification signs these signs will be allowed to include tag lines, specialties or catch phrases that describe the product or service the tenant provides, blade sign bracket and panel framework must be made of metal, please note each tenant blade sign will be subject to landlord approval as well as Centre Pointe (ARC) and City approval, tenants will also be required to show attachment details for each blade sign that is mounted to the building.

Building Addresses

Each Building will have a minimum of one address located on the parapet level of the building. Numerals shall be a minimum of 12" tall x 1/2" deep, actual height will be determined by Los Angeles County Fire Dept. depending on visibility, Address numerals shall be fabricated out of aluminum and painted to match building in a contrasting color, paint finish to be satin polyurethane.

Identification Signs at Man Doors

This sign type is provided for identification of tenant for shipping, receiving, employees and emergency services only, this sign will be limited to tenant address, company name and one line of copy that states what that entrance is intended for i.e., shipping, receiving, will call etc. This sign will be made of 1/8" aluminum plate with a satin polyurethane painted finish and 2 mil high performance vinyl graphics. Panel size will be 16" square.

Tenant Information on Storefront Glass

Each tenant will be allowed one identification/information sign on their front window adjacent to entry door. Graphics will be limited to white high performance self-adhesive vinyl. The maximum area of this sign will be 2-1/2 Sq.Ft. Maximum width or height will be 24". Lettering shall not exceed 2" in height and logos shall not exceed 10" in height. Supportive text shall be limited to 1" tall lettering set in legend form. The graphics shall be centered vertically at 60" and must be at least 4" from any edge of glass.

Tenant Address on Storefront Glass above Main Entrance

Each tenant space must have a minimum of (1) address located above the entry doors, these address numbers must be computer cut vinyl mounted to the face of the glass, addresses numbers must be white with a 1/2" black outline, all vinyl to be 2 mil high performance type.

SIGN DESCRIPTIONS

Tenant Identification Blade Signs
Building Addresses
Identification Signs at Man Doors
Tenant Information on Storefront Glass
Tenant Address on Storefront Glass

Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised August 3, 2006

Prepared for:



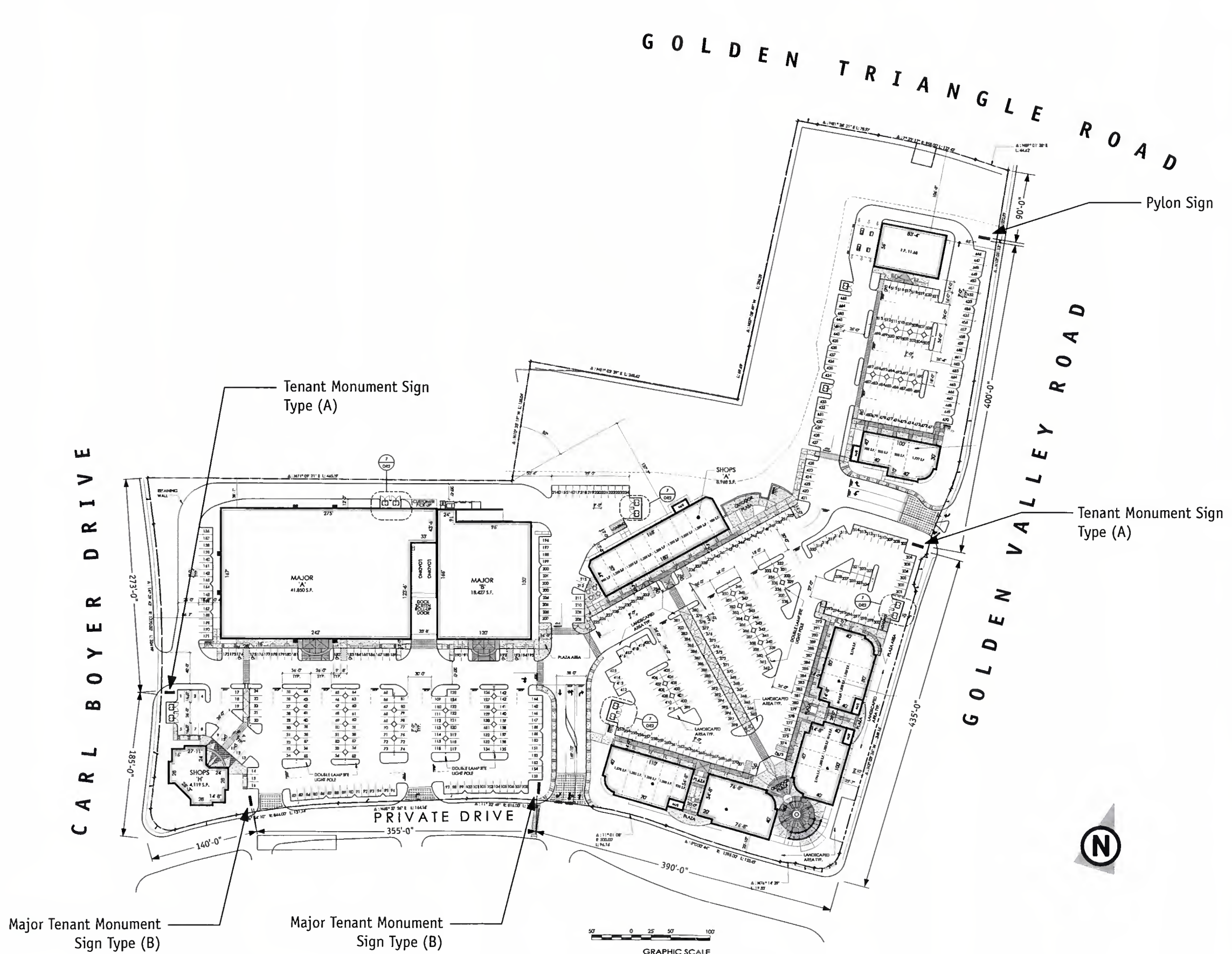
25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

PROJECT SITE PLAN



Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised September 8th, 2006

Prepared for:

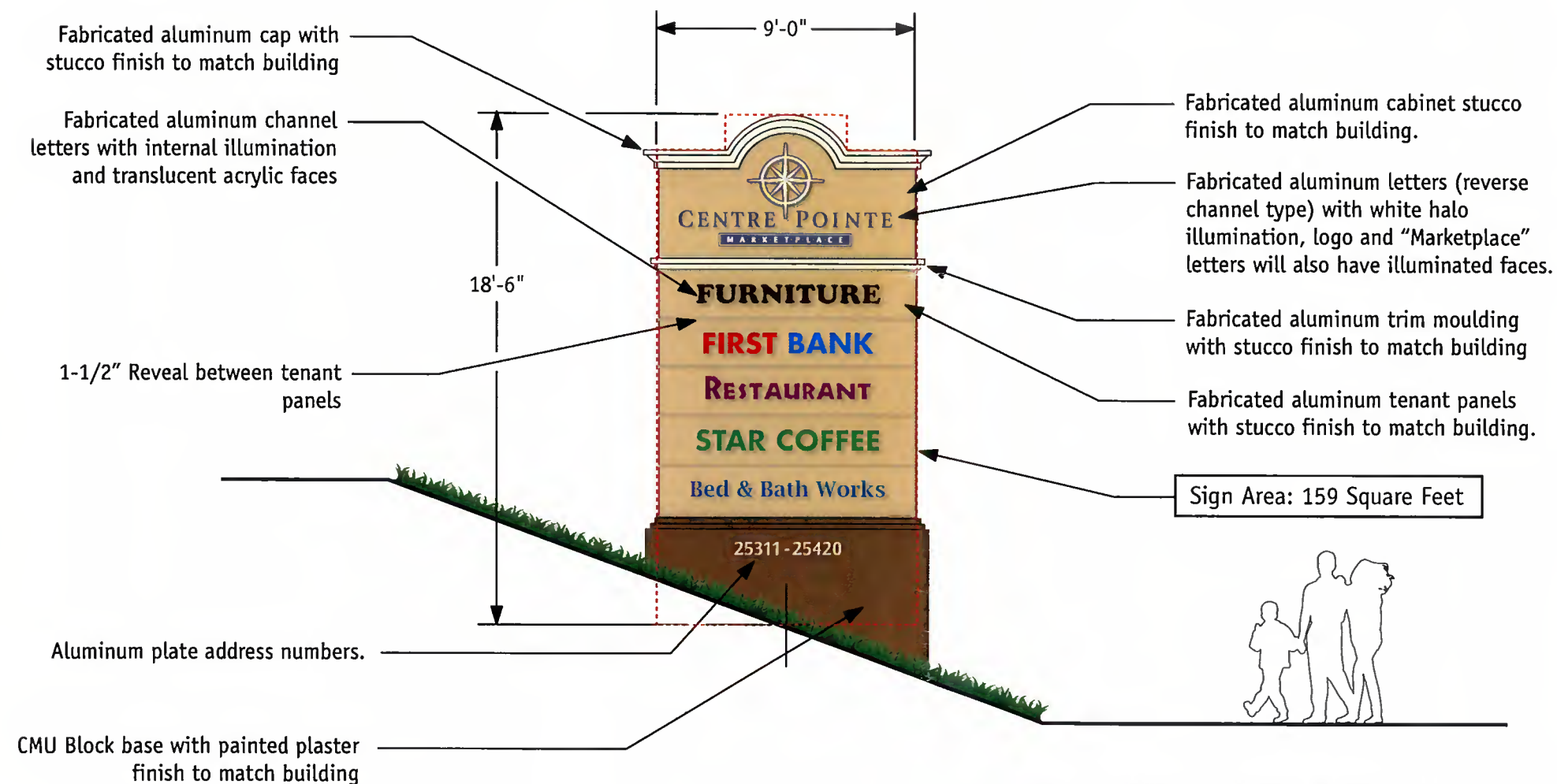


25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com



PROJECT / MAJOR TENANT PYLON SIGN / DOUBLE SIDED

SCALE: 3/16" = 1'-0"

PROJECT / MAJOR TENANT PYLON SIGNS

Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised September 12, 2006

Prepared for:

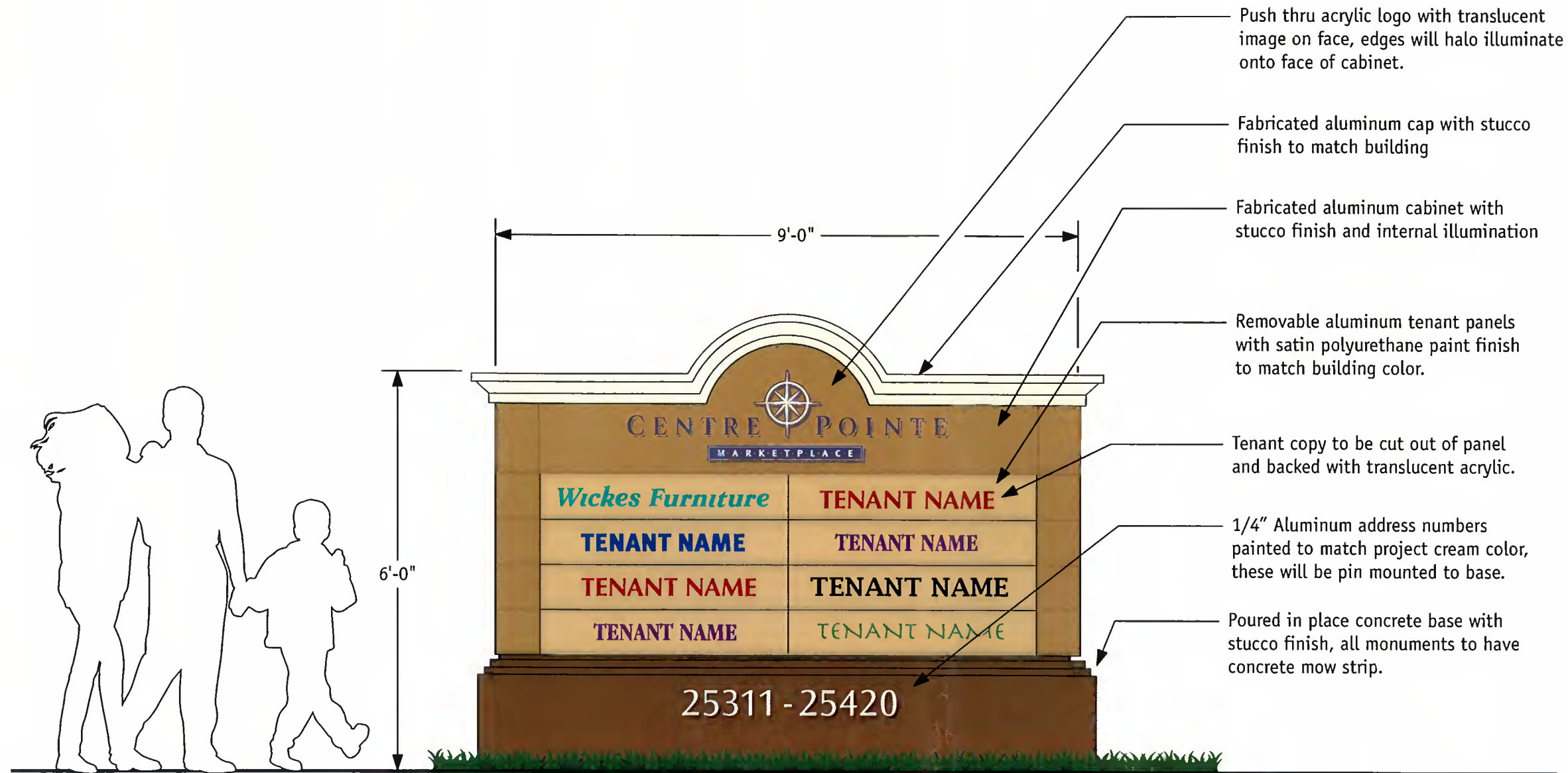


25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com



TENANT MONUMENT SIGNS | QTY. (2) | SIGN TYPE (A) | DOUBLE SIDED

SCALE: 1/2" = 1'-0"

TENANT MONUMENT SIGN
Sign Type (A)

Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



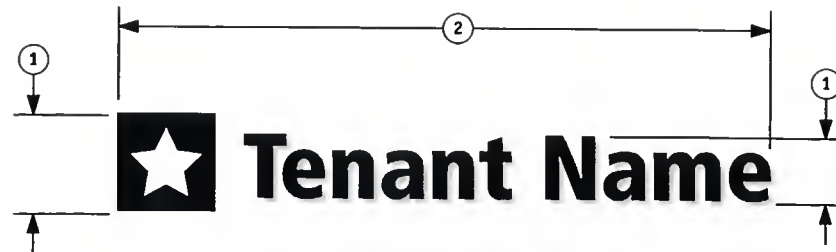
25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com



MAJOR TENANT MONUMENT SIGNS | QTY. (2) | SIGN TYPE (B) | DOUBLE SIDED

SCALE: 1/2" = 1'-0"

MAJOR TENANT MONUMENT SIGN
Sign Type (B)



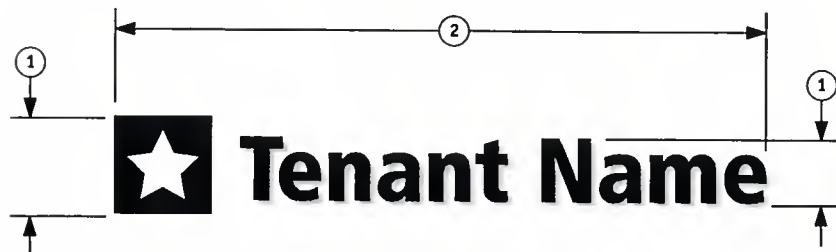
"Shown as block lettering in black for example only"

ON BUILDING IDENTIFICATION NOTES FOR MAJOR TENANT:

Each major tenant may be allowed up to (4) Primary "On Building Identification Signs" & (4) Secondary "On Building Identification Signs".

Major tenants may also be allowed Supplemental signage if the following conditions exist: (a) The main storefront elevation must have (2) public entrances, (b) The length of the storefront must be a minimum of 150 feet (c) the gross floor area must be a minimum of 10,000 square feet.

- ① Maximum letter height on a Primary "On Building Identification Sign" shall not exceed 4'-0", if the business name is in (2) lines or if there is a logo incorporated, the maximum overall height shall not exceed 6'-0".
- ② This dimension shall be determined by the length of the individual business storefront that the sign will be attached to, major tenants will be allowed (1-1/2) square feet of signage for each (1) linear foot of storefront with a maximum length of 30'-0".

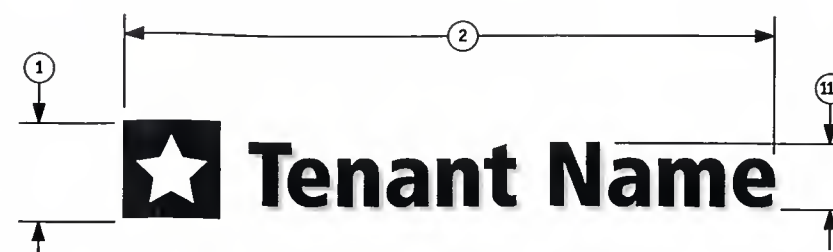


"Shown as block lettering in black for example only"

ON BUILDING IDENTIFICATION NOTES FOR MULTIPLE OCCUPANT BUILDINGS:

Each Business in a Multiple Occupant Building may be allowed (1) Primary "On Building Identification Sign" & (1) Secondary "On Building Identification Sign" (Tenants located at the ends of a Multiple Tenant Building may be allowed a second Primary "On Building Identification Sign" if the elevation faces a street or entry driveway and it is approved by the landlord, Centre Pointe (ARC) and The City of Santa Clarita Planning Department).

- ① Maximum letter height on a Primary "On Building Identification Sign" shall not exceed 2'-0", if the business name is in (2) lines or if there is a logo incorporated, the maximum overall height shall not exceed 4'-0".
- ② This dimension shall be determined by the length of the individual business storefront that the sign will be attached to, occupants will be allowed (1-1/2) square feet of signage for each (1) linear foot of storefront.

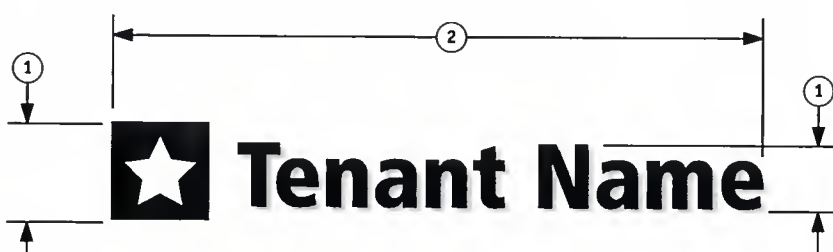


"Shown as block lettering in black for example only"

ON BUILDING IDENTIFICATION NOTES FOR SINGLE OCCUPANT BUILDINGS :

Single occupant buildings may be allowed (2) Primary "On Building Identification Signs" & (1) Secondary "On Building Identification Sign", "On Building Identification Signs" will only be allowed on elevations that faces a street or driveway.

- ① Maximum letter height on a Primary "On Building Identification Sign" shall not exceed 2'-0", if the business name is in (2) lines or if there is a logo incorporated, the maximum overall height shall not exceed 4'-0".
- ② This dimension shall be determined by the length of the individual business storefront that the sign will be attached to, occupants will be allowed (1-1/2) square feet of signage for each (1) linear foot of storefront (this is for primary signage, for secondary signage see notes below)



"Shown as block lettering in black for example only"

SECONDARY ON BUILDING IDENTIFICATION NOTES:

Each Business may be allowed (1) or (2) Secondary "On Building Identification Signs"

- ① Maximum letter height shall not exceed 50% of primary sign letter height, If the business name is in (2) lines or if there is a logo incorporated, the maximum overall height shall not exceed 50% of the primary sign overall height.
- ② This dimension shall be determined by the length of the individual business storefront, Secondary "On Building Identification Signs" must not exceed 50% of the allowable square footage of the Primary "On Building Identification Signs" or (1-1/2) square feet for each (2) linear feet of storefront that the Secondary "On Building Identification Sign" is attached to.



Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

ON BUILDING IDENTIFICATION SIGN NOTES

Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

BLADE SIGN SPECIFICATIONS

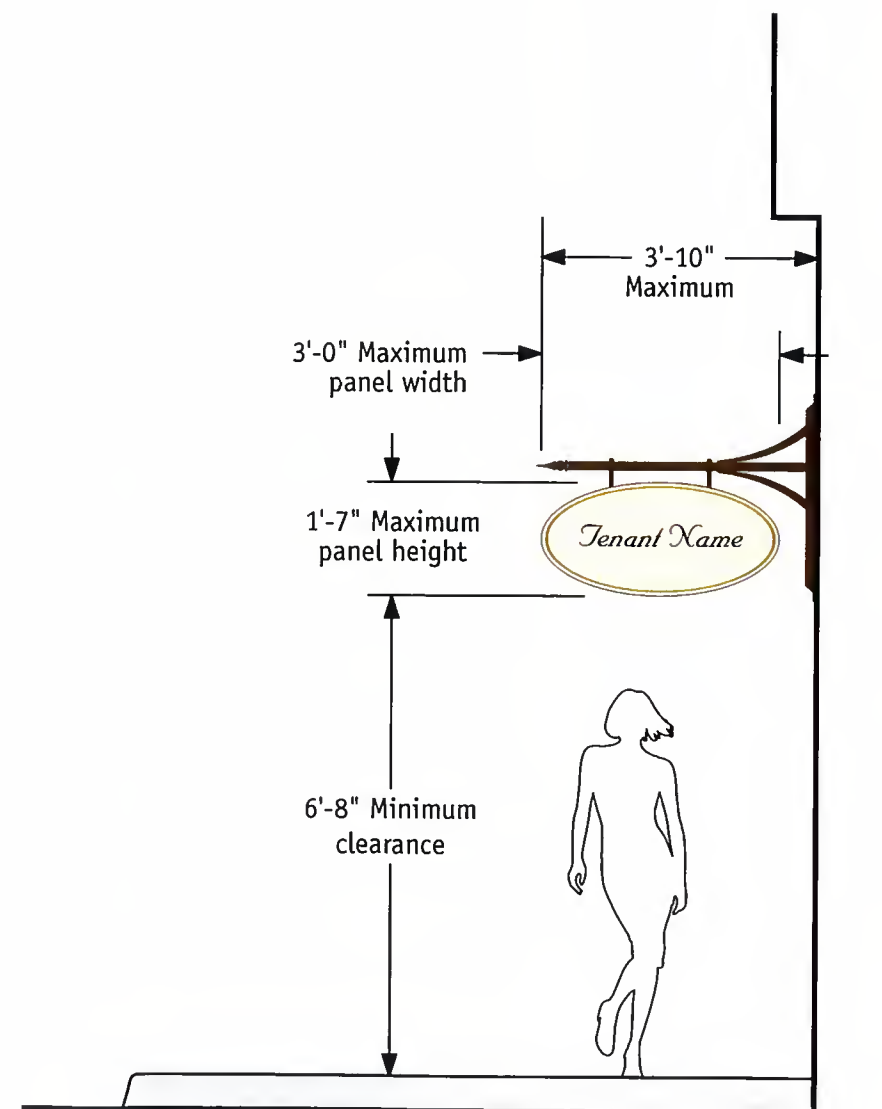
(a) **Location:** All ground floor tenants will be allowed (1) blade sign mounted above their main entrance, if a tenant has more than one entrance they may be allowed to have a second blade sign but it must be on located on a different building elevation.

(b) **Design:** Tenants are encouraged to be creative with the design of their blade sign, the blade sign shown below is just used as an example, all tenants will be allowed to submit their own designs as far as shape, colors and fabrication. Please note all tenant blade sign designs will be subject to landlord approval prior to Centre Pointe (ARC) and City approval.

(c) **Fabrication:** Blade signs may be fabricated from various materials which are listed on page (4) of this sign program, if you would like to use a material that is not listed you must get the landlords approval prior to fabrication.

(d) **Attachment:** Blade signs must be securely mounted and bolted directly into the building as required by the City of Santa Clarita Building and Safety Department, the building department may require engineering for this type of sign, if required engineering must be done by a civil engineer that is licensed in the state of California. Please note all building penetrations must be sealed, any damage caused to the building due to poor installation of this type of sign will be the sole responsibility of the tenant.

(e) **Blade Sign Cost:** Each tenant will be responsible for the cost of their blade sign including: design, engineering, fabrication and installation (please note this may include installation of blocking inside the wall if required), tenants will be allowed to use their own sign contractor but the sign contractor must be approved by the landlord.



TENANT IDENTIFICATION BLADE SIGN EXAMPLE

TENANT IDENTIFICATION BLADE SIGNS

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:



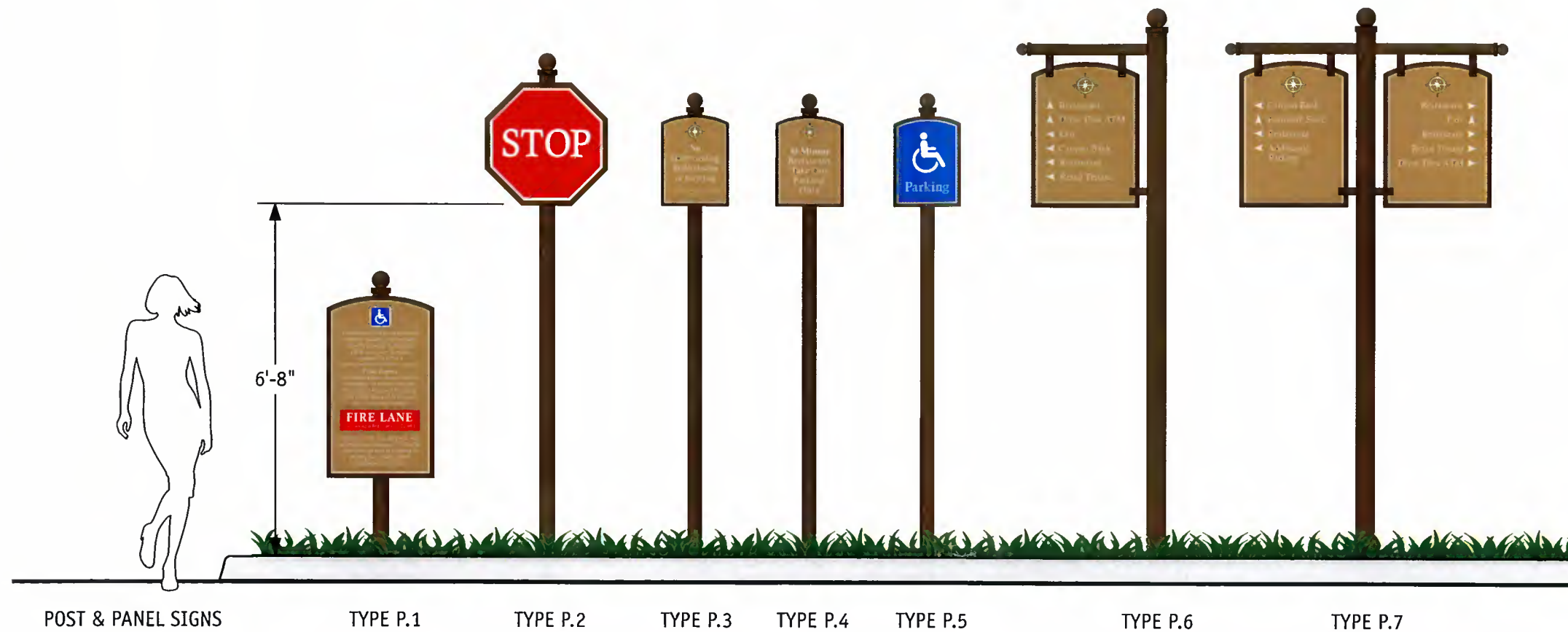
25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

PROJECT POST AND PANEL SIGNS



Note: All post and panel signs to fabricated from aluminum with faux bronze painted finish.

DESCRIPTION OF EACH SIGN TYPE

- P.1** Legal Notice Signs: These signs would be located at each entrance, all lettering and symbols to be reflective.
- P.2** Stop Signs: These signs would be located on site only and be sized as per code, red background, letters and boarder to be reflective.
- P.3** Project Enforcement Signs: These signs will be located near walkways to inform and enforce the rules and regulations of the center.
- P.4** Reserved Parking Signs: These signs will be located close to each restaurants to allow take out customers to quickly pick up their food.
- P.5** Handicapped Signs: These signs will be located at each handicapped space as required, background and lettering to be reflective.
- P.6** Single Panel Directional Signs: These signs will be used to direct drivers and or pedestrians to certain locations on site
- P.7** Double Panel Directional Signs: These signs will be used to direct drivers and or pedestrians in locations where there are multiple options

Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:

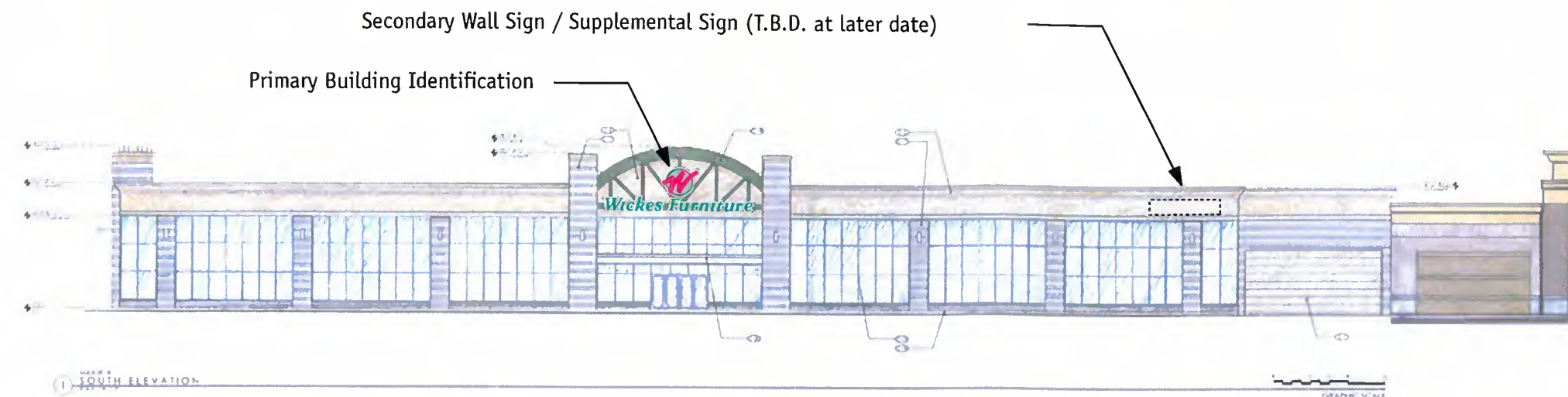


25322 Rye Canyon Road
Valencia, CA
91355

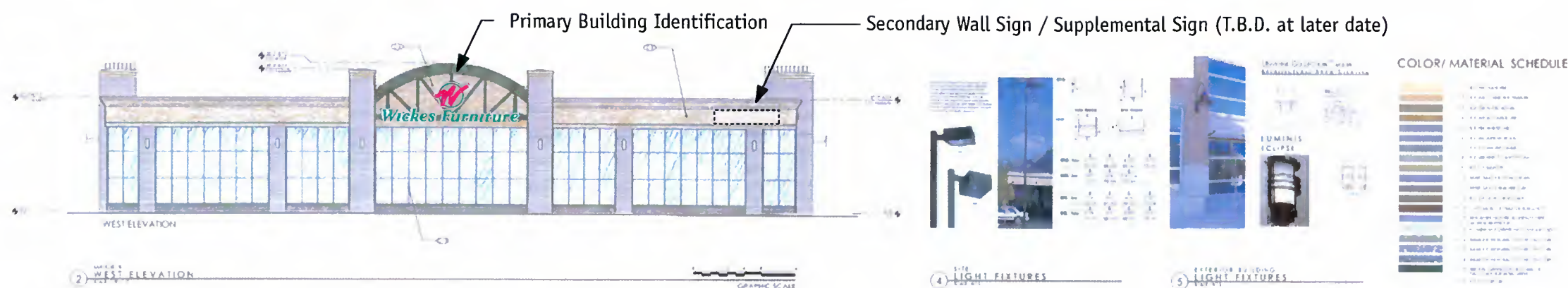
Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com



1 SOUTH ELEVATION



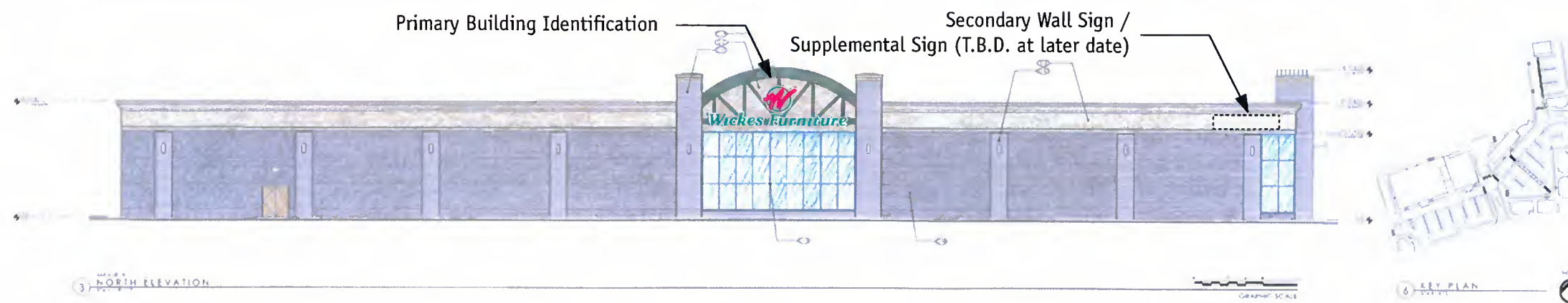
2 WEST ELEVATION

4 SITE LIGHT FIXTURES

5 EXTERIOR BUILDING LIGHT FIXTURES

COLOR/MATERIAL SCHEDULE

1	CONCRETE
2	BRICK
3	GLASS
4	ALUMINUM
5	STEEL
6	WOOD
7	PAINT
8	ROOFING
9	LANDSCAPING
10	UTILITIES
11	MECHANICAL
12	ELECTRICAL
13	TELEPHONE
14	PLUMBING
15	HEATING
16	Cooling
17	Lighting
18	Acoustic
19	Fire Protection
20	Security
21	Accessibility
22	Signage
23	Wayfinding
24	Artwork
25	Landmarks
26	Monuments
27	Plaques
28	Markers
29	Decorative
30	Functional



3 NORTH ELEVATION

6 KEY PLAN

MAJOR 'A' EXTERIOR ELEVATIONS

Design Review Submittal - November 28, 2005

Located Between:
 Golden Valley Rd.,
 Carl Boyer Dr. & Golden Triangle Rd.
 Santa Clarita, California
 91355

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:



25322 Rye Canyon Road
 Valencia, CA
 91355

Prepared by:



25317 West Avenue Stanford
 Valencia, California
 91355
 Contact: Cary Llewelyn
 Tel: 661.295.0624
 email: cary@imagefactor.com

MAJOR TENANT "B" AND SHOPS "A" EXTERIOR ELEVATIONS



MAJOR 'B' & SHOPS 'A' EXTERIOR ELEVATIONS

Design Review Submitted: November 29, 2005

Located Between:
Golden Valley Rd.,
Carl Boyer Dr. & Golden Triangle Rd.
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com



SHOPS & RESTAURANT EXTERIOR ELEVATIONS

Design Review Submittal : November 28, 2005

**SHOPS AND RESTAURANTS
"B" THRU "F"
EXTERIOR ELEVATIONS**

Located Between:
 Golden Valley Rd.,
 Carl Boyer Dr. & Golden Triangle Rd.
 Santa Clarita, California
 91355

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:



25322 Rye Canyon Road
 Valencia, CA
 91355

Prepared by:



25317 West Avenue Stanford
 Valencia, California
 91355
 Contact: Cary Llewelyn
 Tel: 661.295.0624
 email: cary@imagefactor.com



COLOR/MATERIAL SCHEDULE

1	Light Tan
2	Light Tan
3	Light Tan
4	Light Tan
5	Light Tan
6	Light Tan
7	Light Tan
8	Light Tan
9	Light Tan
10	Light Tan
11	Light Tan
12	Light Tan
13	Light Tan
14	Light Tan
15	Light Tan
16	Light Tan
17	Light Tan
18	Light Tan
19	Light Tan
20	Light Tan
21	Light Tan
22	Light Tan
23	Light Tan
24	Light Tan
25	Light Tan
26	Light Tan
27	Light Tan
28	Light Tan
29	Light Tan
30	Light Tan
31	Light Tan
32	Light Tan
33	Light Tan
34	Light Tan
35	Light Tan
36	Light Tan
37	Light Tan
38	Light Tan
39	Light Tan
40	Light Tan
41	Light Tan
42	Light Tan
43	Light Tan
44	Light Tan
45	Light Tan
46	Light Tan
47	Light Tan
48	Light Tan
49	Light Tan
50	Light Tan
51	Light Tan
52	Light Tan
53	Light Tan
54	Light Tan
55	Light Tan
56	Light Tan
57	Light Tan
58	Light Tan
59	Light Tan
60	Light Tan
61	Light Tan
62	Light Tan
63	Light Tan
64	Light Tan
65	Light Tan
66	Light Tan
67	Light Tan
68	Light Tan
69	Light Tan
70	Light Tan
71	Light Tan
72	Light Tan
73	Light Tan
74	Light Tan
75	Light Tan
76	Light Tan
77	Light Tan
78	Light Tan
79	Light Tan
80	Light Tan
81	Light Tan
82	Light Tan
83	Light Tan
84	Light Tan
85	Light Tan
86	Light Tan
87	Light Tan
88	Light Tan
89	Light Tan
90	Light Tan
91	Light Tan
92	Light Tan
93	Light Tan
94	Light Tan
95	Light Tan
96	Light Tan
97	Light Tan
98	Light Tan
99	Light Tan
100	Light Tan

SHOPS 'F' & BANK 'G' EXTERIOR ELEVATIONS

Design Review Submittal : November 28, 2005

Located Between:
 Golden Valley Rd.,
 Carl Boyer Dr. & Golden Triangle Rd.
 Santa Clarita, California
 91355

PLANNED SIGN PROGRAM

Revised August 6, 2006

Prepared for:



25322 Rye Canyon Road
 Valencia, CA
 91355

Prepared by:

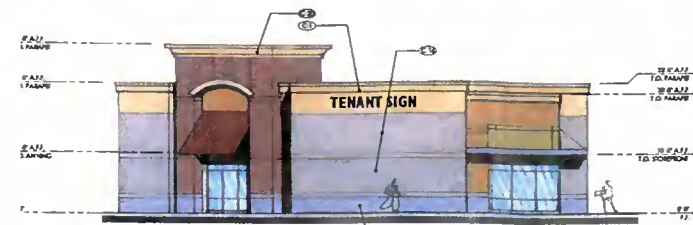


25317 West Avenue Stanford
 Valencia, California
 91355
 Contact: Cary Llewelyn
 Tel: 661.295.0624
 email: cary@imagefactor.com

**SHOPS "H"
 EXTERIOR ELEVATIONS**



1 SHOPS 'H' WEST ELEVATION
 SCALE 1/8"=1'-0"



2 SHOPS 'H' SOUTH ELEVATION
 SCALE 1/8"=1'-0"

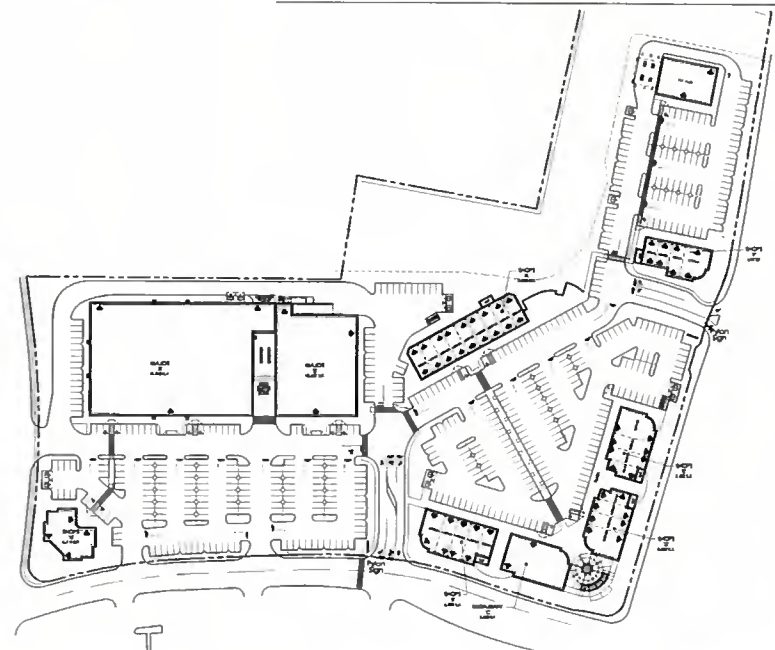


3 SHOPS 'H' EAST ELEVATION
 SCALE 1/8"=1'-0"

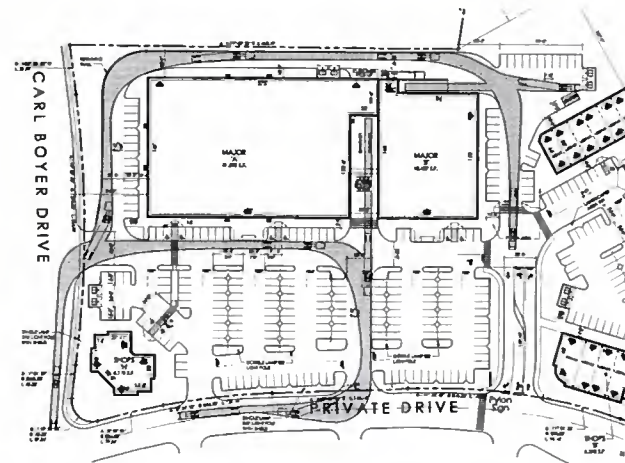


4 SHOPS 'H' NORTH ELEVATION
 SCALE 1/8"=1'-0"

SHOPS 'H' EXTERIOR ELEVATIONS



8 BUILDING ENTRANCE AND EXIT
 SCALE 1/4"=1'-0"



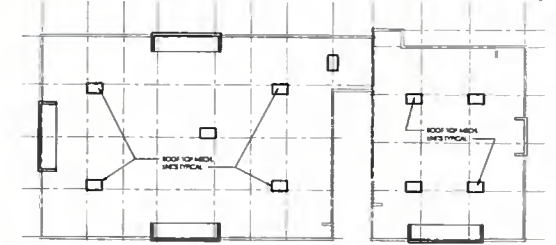
9 TRUCK PATH DIAGRAM
 SCALE 1/4"=1'-0"

COLOR/MATERIAL SCHEDULE

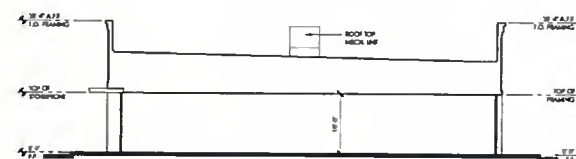
C-1	10' AIR SPACE
C-2	10' 0" BRICKWORK MASONRY
C-3	10' 0" BRICKWORK MASONRY
C-4	10' 0" BRICKWORK MASONRY
C-5	10' 0" BRICKWORK MASONRY
C-6	10' 0" BRICKWORK MASONRY
C-7	10' 0" BRICKWORK MASONRY
C-8	10' 0" BRICKWORK MASONRY
C-9	10' 0" BRICKWORK MASONRY
C-10	10' 0" BRICKWORK MASONRY
C-11	10' 0" BRICKWORK MASONRY
C-12	10' 0" BRICKWORK MASONRY
C-13	10' 0" BRICKWORK MASONRY
C-14	10' 0" BRICKWORK MASONRY
C-15	10' 0" BRICKWORK MASONRY
C-16	10' 0" BRICKWORK MASONRY
C-17	10' 0" BRICKWORK MASONRY
C-18	10' 0" BRICKWORK MASONRY
C-19	10' 0" BRICKWORK MASONRY
C-20	10' 0" BRICKWORK MASONRY



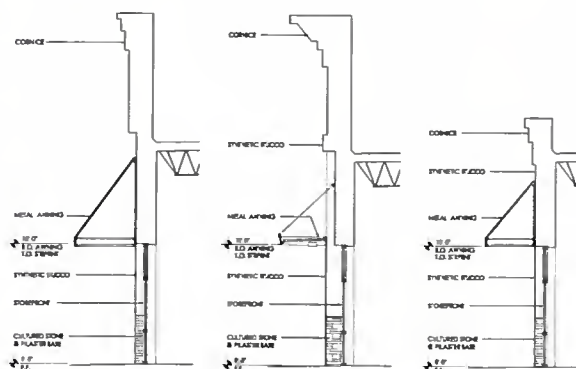
5 KEY PLAN
 SCALE 1/4"=1'-0"



6 TYPICAL RETAIL ROOF PLAN
 SCALE 1/8"=1'-0"



7 TYPICAL BUILDING SECTION
 SCALE 1/4"=1'-0"



10 TYPICAL WALL SECTIONS
 SCALE 1/4"=1'-0"