



City of Santa Clarita
Master Case Number 06-017
Sign Review 06-002
Per Code Section 17.19
of the Unified Development Code

- Date: June 19, 2006
- Applicant: Image Factor, Inc.
- Request: The applicant is requesting approval of a sign program for the Cinema Professional Center located at 23501 Cinema Drive, in the City of Santa Clarita.
- Findings: The Community Development Department has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this sign review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL / MITIGATION MEASURES

1. This approval allows for the construction of the following signs for the building:
 - A. **Monument Sign** – The applicant shall have permission to construct one double-sided monument sign that shall not exceed 6'-0" in overall height and 10'-0" in overall width. The sign shall advertise the name and address of the project and shall not advertise more than eight (8) of the tenants/services of the building.
 - B. **Building Identification Sign** – The applicant shall have permission to construct one building identification sign located above the main entry doors. The sign shall advertise the name of the project, "Cinema Professional Center" and shall not exceed 1'0" in height.




- C. **Major Tenant Wall Sign** – The applicant shall have permission to install one (1) wall sign identifying the name of a major tenant on the North West elevation of the building. Sign lettering and logos shall not exceed 24” in height unless an application for enhanced signage that is approved by the Director of Community Development. The wall sign shall be limited to company name and/or logo and may be displayed as two lines of copy.
- D. **Ground Floor Tenant Wall Signs** – The applicant shall have permission to install secondary wall signs for all secondary, ground level tenants/services of the building that have a customer entrance from the exterior of the building/parking area. One sign shall be permitted for each secondary use and shall be oriented over the entrance to the maximum extent possible. Signs and logos shall not exceed 2’-0” in height for all secondary signs. Secondary tenants located on the ground level, with their primary entrance located only on the interior hall of the building shall not be permitted exterior signing.
2. The constructed sign’s design, color, and placement shall be consistent with the plans submitted to, and approved by, the Planning Division.
 3. The project shall be developed in conformance with the approved plans on file in the Planning Division. Any changes shall be subject to further review by the Director of Community Development Department.
 4. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
 5. Signs shall not be located in such a manner as to impede traffic or sight visibility.
 6. Exposed or open neon shall not be permitted.
 7. Visible raceways shall not be permitted.
 8. The applicant and property owner shall obtain all necessary building permits and shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
 9. This approval must be used within one (1) year from the date of issuance. This approval shall be considered null and void if not acted upon by June 19, 2007.

10. The applicant must sign the attached notarized affidavit to confirm acceptance of the above conditions. The notarized affidavit must be returned to the Community Development Department before approval is granted.

Should you have any questions regarding this approval, I can be reached at (661) 255-4330.

Sincerely,



Darin Seegmiller
Assistant Planner I

S:\CD\CURRENT\2006\06-017\06-017 Conditions.doc

Project Location:

Thomas Guide Page 4550, Grid G-2
Cinema Professional Center
23501 Cinema Drive
Santa Clarita, CA
91355

Governing Agency:

Newhall Land
Architectural Review Committee (ARC)
Contact: Marian Miller
23823 Valencia Boulevard
Valencia, CA
91355
Tel: 661.255.4441

Owner:

Cinema Professional Center LLC
Contact: Peter Lund
139 South Barrington Avenue
Suite 330
Los Angeles, CA
90049
Tel: 661.702.2262

City Planning Department:

City of Santa Clarita
Planning and Economic Development
23920 Valencia Boulevard
Suite 300
Valencia, CA
91355
Tel: 661.255.4330

Architect:

The Neiman Group
2930 Westwood Boulevard
Suite 100
Los Angeles, CA
90064
Tel: 310.207.8224

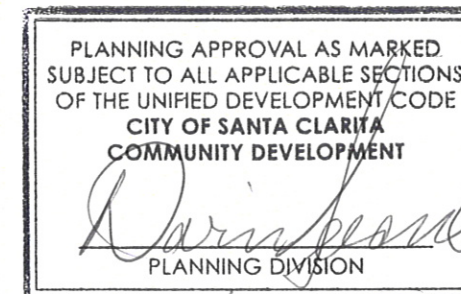
Sign Consultant:

Image Factor, Inc.
25317 West Avenue Stanford
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91355
Tel: 661.295.0624
Email: cary@imagefactor.com

CINEMA PROFESSIONAL CENTER

P L A N N E D S I G N P R O G R A M

JUN 22 2006



Approved per
MC# 06-017,
SR# 06-002.

RECEIVED
PLANNING DIVISION

MAY 22 2006

CITY OF SANTA CLARITA

CINEMA PROFESSIONAL CENTER

23501 Cinema Drive
Santa Clarita, California
91355

PLANNED SIGN PROGRAM

Revised May 18, 2006

Prepared for:

CINEMA PROFESSIONAL CENTER LLC
139 South Barrington Avenue
Suite 330
Los Angeles, California
90049

Prepared by:

 **IMAGE FACTOR**
25317 West Avenue Stanford
Valencia, California
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Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

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**CINEMA
PROFESSIONAL
CENTER**

23501 Cinema Drive
Santa Clarita, California
91355

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PLANNED SIGN PROGRAM

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CINEMA PROFESSIONAL CENTER

23501 Cinema Drive
Santa Clarita, California
91355

PURPOSE AND INTENT

The purpose of this Planned Sign Program is to ensure that both project & tenant signage contribute to the success of The Cinema Professional Center, this project will require high quality signage that reflects the integrity of the building architecture.

MAINTENANCE

All signs within the "Cinema Professional Center" shall be maintained in an as-new condition in accordance with the CC&R's for the project. Inspections of all signs on site will be made periodically. Any deficiencies shall be immediately corrected by the party responsible for said signs, if the party responsible (the tenant) does not have the sign repaired within seven (7) days, the landlord has the right to hire a sign contractor to make the repairs, the cost of the repairs will be back charged to the party responsible (the tenant).

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**PURPOSE AND INTENT
MAINTENANCE**

CINEMA PROFESSIONAL CENTER

23501 Cinema Drive
Santa Clarita, California
91355

APPROVALS

All exterior tenant signage must have written approval from the landlord and the Newhall Land Architectural Review Committee (ARC) Prior to City review, eligible sign applicants shall first obtain the approval from the landlord and then Newhall Land (ARC) by submitting the following:

- (1) Submit three (3) copies of the following to the landlord and then to the Newhall Land (ARC).
 - (a) Site plan and building elevations showing proposed sign locations and dimensions.
 - (b) Proposed materials, finishes, colors and illumination type.

- (2) For City approval submit three (3) copies of the drawings as approved by The landlord and Newhall Land Architectural Review Committee to the City of Santa Clarita Planning Department, after planning approval proceed to the Building & Safety Department to obtain sign/building permits, the Building and Safety Department will require the following:
 - (a) Site plan and building elevations showing proposed sign locations and dimensions.
 - (b) Proposed material, finishes, colors and illumination type.
 - (c) Section view showing fabrication and attachment details.
 - (d) Monument Signs will need to include engineering done by a civil engineer that is licensed in the State of California.

UNCERTAINTY OF SIGN STANDARDS

If a situation arises that is not covered by these sign standards or there is ambiguity, the sign applicant is referred to the landlord, Newhall Land Architectural Review Committee and the City of Santa Clarita Planning Department for clarification and determination. The landlord, Newhall Land (ARC) and the City of Santa Clarita together will then approve signing that best meets the intent of the Project.

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APPROVALS
UNCERTAINTY OF SIGN STANDARDS

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COMPLIANCE REQUIREMENT
DESIGN CRITERIA & GENERAL
SIGN STANDARDS
MATERIALS
ILLUMINATION

COMPLIANCE REQUIREMENT

No person shall erect, reerect, construct, enlarge, move, improve, convert or equip any sign or structure, or cause or permit the same to be done contrary to or in violation of any of the provisions of this Planned Sign Program. Conformance will be strictly enforced by the Landlord, Newhall Land (ARC) and The City of Santa Clarita. All such non conforming or unapproved sign(s) must be brought into conformance at the expense of the person(s) responsible for the sign(s).

DESIGN CRITERIA & GENERAL SIGN STANDARDS

- (1) Sign area is defined as the entire area within a perimeter defined by a continuous line composed of right angles which encloses the extreme outer limits of lettering, logos or trademarks together with any frame or structural trim forming a part of the display used to differentiate the sign from the background against which it is placed.
- (2) The location of the Monument sign shall conform to The City of Santa Clarita site distance triangle. Please note there will only be (1) monument sign allowed on this project, See site plan for location.
- (3) All paint on aluminum or acrylic shall be satin polyurethane as manufactured by Matthews Paint Company.
- (4) All signs attached to the building shall consist of fabricated letters, logos and or design elements, all sign components are to be surface mounted. No cabinet/box signs, signs made of foam or signs painted directly on the building will be permitted at The Cinema Professional Center. All on-building signs shall be mounted directly onto building surface. No "raceways" will be allowed on this project.
- (5) All Monument and "On Building Identification" signs must be internally illuminated, all lighting techniques must be submitted to the landlord, the Newhall Land (ARC) and the City of Santa Clarita for approval. There will be no flashing, moving or audible signs allowed on this project.
- (6) All attachment hardware shall be stainless steel to preclude rust staining of architectural surfaces and to permit ease of future removal / servicing.

ACCEPTABLE MATERIAL FOR TENANT IDENTIFICATION SIGNS

The following list of materials may be used to fabricate Tenant signage:

Metals: Aluminum or stainless steel.

Acrylics: Cast acrylic or polycarbonate sheet.

UNACCEPTABLE MATERIAL FOR TENANT IDENTIFICATION SIGNS

The following materials /techniques will not be allowed:

Trim Cap: Trim cap will not be allowed on this project, all "On-Building Identification signs must be reverse channel type with halo illumination.

Styrofoams: Signs made of Styrofoam will not be allowed on this project.

Painted on building signs: Signs painted directly on the building will not be allowed on this project.

ACCEPTABLE METHODS OF ILLUMINATION

The following lighting techniques may be used to illuminate tenant signage:

Illumination Type: Illumination for signage at Cinema Professional Center will be limited to Neon, cold cathode, LED or fluorescent, please note that all lighting techniques will be subject to landlord approval as well as Newhall Land (ARC) and the City of Santa Clarita planning/building department, certain lighting techniques may be rejected due to location of the sign and the impact it will have on neighboring tenants.

CINEMA PROFESSIONAL CENTER

23501 Cinema Drive
Santa Clarita, California
91355

SIGN DESCRIPTIONS

Project / Tenant Monument Sign

This type of sign is provided for ground mounted project/tenant identification. The Project/Tenant Monument Sign will identify the project and the tenants of Cinema Professional Center, please note that due to the amount of tenants at Cinema Professional Center and the allowable sign area determined by the City of Santa Clarita, there may not be enough room on the tenant monument signs for each tenant, the landlord/owner will decide which tenants will be identified on the monument signs, all tenants should refer to their lease for clarification. Eligible tenants will be responsible for the cost of adding their business name to the Tenant Monument Sign and will need to get Landlord approval on the design prior to fabrication.

On Building Identification Signs (for Major Tenants)

These signs are provided for on-building business identification. The copy shall be limited to company name/logo and may be displayed as two lines of copy in company letter/logo style. This sign type must be internally illuminated and be fabricated from one or more of the approved materials listed in this sign program (additional materials may be allowed but must be approved by the landlord). Paint finishes shall be satin polyurethane as manufactured by Matthews Paint Corporation, colors of signs will be subject to the approval of the landlord, Newhall Land (ARC) and the City of Santa Clarita Planning Dept. These signs must be fabricated from aluminum or stainless steel with a clear polycarbonate back (reverse channel type). There will be no styrofoam or painted on building signs allowed. All wall signs must have a minimum depth of 3" and a maximum depth of 6". There will be no visible raceways allowed on this project. On-Building Identification Signs for Major Tenants shall occur at the top panel of the building but not within 1'-0" from the top or side of the building.

On Building Identification Signs (for Ground Floor Tenants)

Ground floor tenants may be allowed (1) primary "On Building Identification Sign" and (1) secondary "On Building Identification Sign", The maximum area allowed for a primary "On Building Identification Sign" is one (1-1/2) square feet for each (1) linear foot of the tenant space frontage, the maximum length of a sign must not exceed 75% of the total length of the tenant space frontage, Secondary "On Building Identification Signs" must not exceed 50% of the allowable square footage of the Primary "On Building Identification Sign" or (1-1/2) square feet for each (2) linear feet of the building frontage.

* Please note that Ground Floor tenants will only be allowed signage rights if they have their own exterior public entrance.

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SIGN DESCRIPTIONS

Project / Tenant Monument Signs

On Building Identification Signs for
Major / Minor Tenants

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SIGN DESCRIPTIONS

Building Addresses

Buildings will have a minimum of one address located on the parapet level of the building. Numerals shall be a minimum of 12" tall x 1/2" deep, actual height will be determined by Los Angeles County Fire Dept. depending on visibility, Address numerals shall be fabricated out of aluminum and painted to match building in a contrasting color, paint finish to be satin polyurethane.

Building Address on Glass above Main Entrance

Buildings must have a minimum of (1) address located above the entry doors, these address numbers must be computer cut vinyl mounted to the face of the glass, addresses numbers must be white with a 1/2" black outline, all vinyl to be 2 mil high performance type.

Identification Signs at Man Doors

This sign type is provided for identification of tenant for shipping, receiving, employees and emergency services only, this sign will be limited to tenant address, company name and one line of copy that states what that entrance is intended for i.e., shipping, receiving, will call etc. This sign will be made of 1/8" aluminum plate with a satin polyurethane painted finish and 2 mil high performance vinyl graphics. Panel size will be 16" square.

SIGN DESCRIPTIONS

Building Address
Building Address on Storefront Glass
Identification Signs at Man Doors

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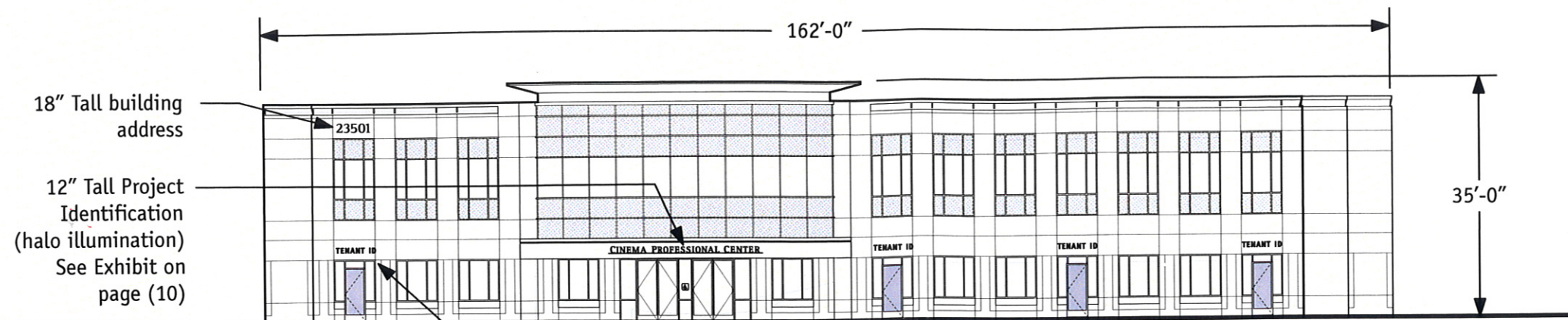
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BUILDING ELEVATIONS



SOUTH WEST ELEVATION

24" Tall (Max.) Ground floor Tenant Identification, "Please note that ground floor tenants must have their own exterior public entrance to be allowed signage" (the locations shown are for example only, the actual locations may be different)



SOUTH EAST ELEVATION



NORTH EAST ELEVATION



NORTH WEST ELEVATION

24" Tall Major Tenant Identification (halo illumination)

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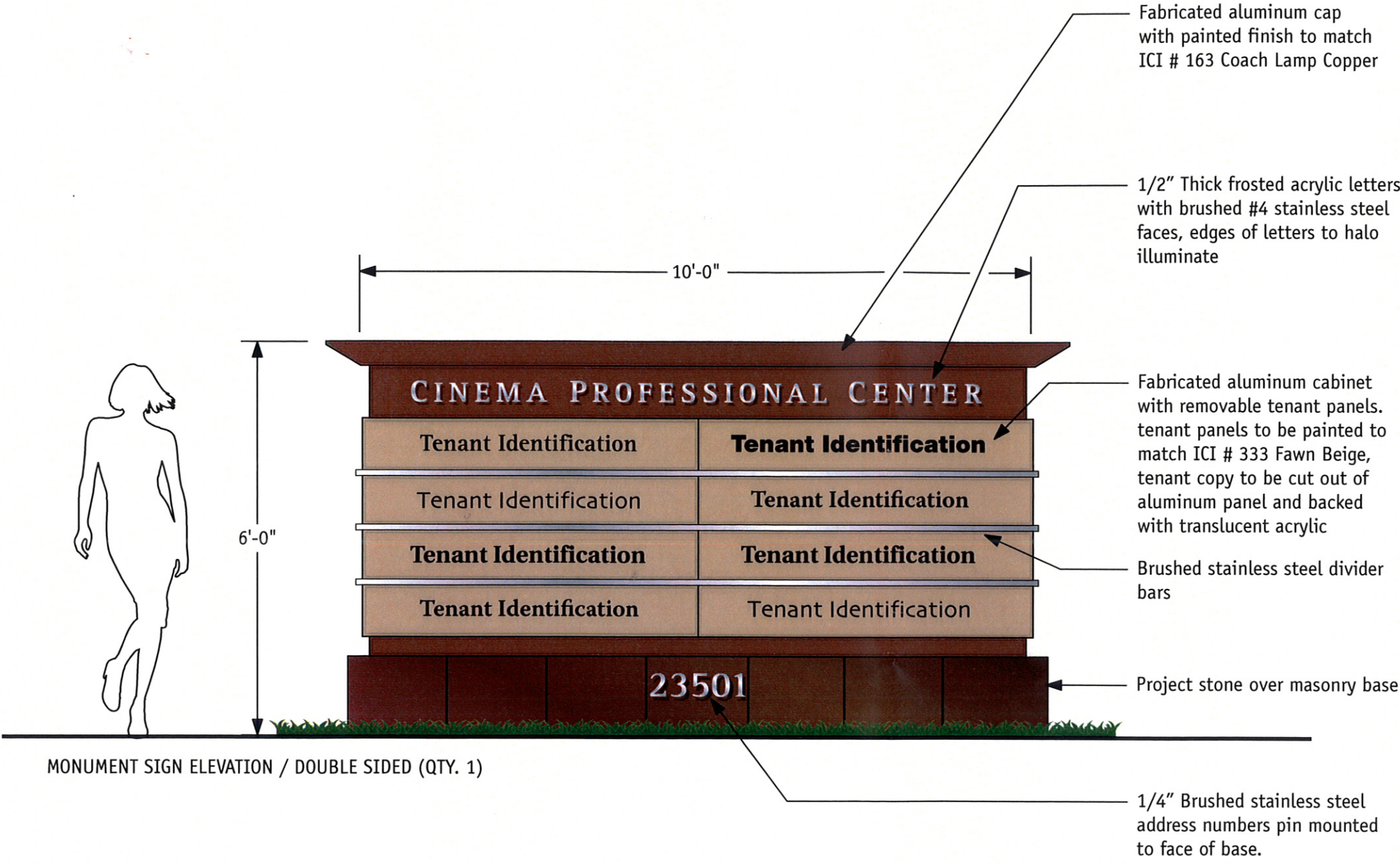
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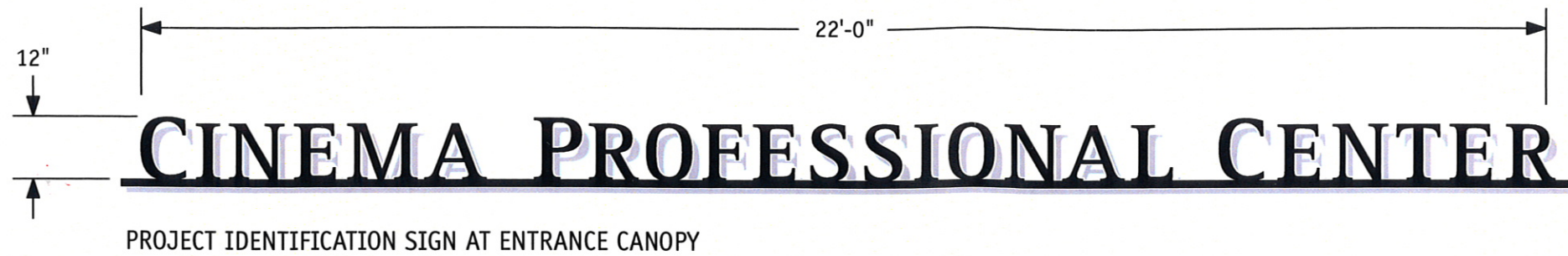
PROJECT / TENANT MONUMENT SIGN
 EXHIBIT



MONUMENT SIGN ELEVATION / DOUBLE SIDED (QTY. 1)

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PROJECT IDENTIFICATION SIGN
AT ENTRANCE CANOPY
EXHIBIT

