

City of  
Santa Clarita

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Santa Clarita  
California 91355-2196  
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CITY OF SANTA CLARITA  
Master Case Number 06-229  
Sign Review 06-033  
Crossroads Center Sign Program  
Per Code Section 17.19  
of the Unified Development Code

Date: December 6, 2006

Applicant: LA Prime Properties  
888 South Figueroa St. #1900  
Los Angeles, CA 90077

Consultant: San Pedro Electric Sign Company  
701 Lakme Avenue  
Wilmington, CA 90744

Request: The applicant is requesting a sign review permit for a master sign program at the Crossroads Center located at the southeast corner of Soledad Canyon and Bouquet Canyon Roads (APN 2836-011-014). The project site is zoned CC (Community Commercial), in the City of Santa Clarita.

Findings: The Director of Community Development has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this sign review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL / MITIGATION MEASURES

GENERAL

GC1. The applicant is granted approval for the Crossroads Center master sign program, dated December 6, 2006. The project shall be developed in substantial conformance with the approved sign program on file with the



- Planning Division. Any changes shall be subject to the review and approval of the Director of Community Development.
- GC2. The approval of this project shall expire if not put into use within one (1) year from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code.
- GC3. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than sixty (60) days prior to expiration. Only one extension of the conditionally approved project may be granted.
- GC4. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.
- GC5. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attach, set aside, void, or annul the approval of this Project by the City, which action is provided for in Government Code Section 66499.37. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this Condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) The City bears its own attorneys' fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC6. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC7. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC8. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development

Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.

GC9. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must be returned to the Planning Division before approval is granted.

GC10. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

#### PLANNING DIVISION

PL1. Prior to the issuance of building permits for tenant signage, the two non-conforming pole signs located on the project site and identified on page nine (9) of the Crossroads Center sign program as "Existing Century 21 Pole Sign" and "Existing Multi-Tenant Pole Sign" shall be removed.

#### *Monument Signs*

PL2. The applicant shall have permission to install a total of two (2) monument signs on the project site in accordance with the approved sign program. One (1) monument sign shall be permitted west of the entrance on Soledad Canyon Road and one (1) monument sign shall be permitted north of the northernmost entrance on Bouquet Canyon Road. All monument signs shall be developed in accordance with the Crossroads Center sign program (Attachment A), prepared by San Pedro Electric Sign Company, and the following:

- a. Each monument sign, identified on the sign program as A1 & A2, shall identify "Crossroads Center" and shall include a maximum of eight (8) tenants. The monument sign shall not exceed seven feet (7'-0") in height and shall not exceed twelve feet (7'-10") in width. A maximum of 22 square feet of sign area shall be provided for tenant signage.
- b. Each monument sign, identified on the sign program as A1 & A2 shall incorporate the site address in accordance with the Crossroads Center Sign program (Attachment A).

#### *Tenant Signage*

PL3. Each tenant shall be permitted to install one (1) wall sign per elevation facing a street or parking lot for a maximum of three (3) wall signs. Tenant signage shall be developed in accordance with the Crossroads Center sign program (Attachment A) and the following:

- a. Primary Wall Sign (facing main parking lot):

- i. Single line of text: The maximum allowable letter height shall not exceed thirty (30") inches.
    - ii. Double line of copy: The maximum allowable height shall not exceed thirty-six (36") inches for two lines of copy.
    - iii. Primary wall signs shall not exceed one and one-half (1.5) square feet per linear foot of tenant frontage.
    - iv. Sign length shall not exceed 75% of tenant frontage.
    - v. One (1) primary major tenant identification sign (facing parking lot) shall be allowed.
  - b. Secondary Wall Signs (facing ancillary parking lot):
    - i. Single line of text: The maximum allowable letter height shall not exceed twenty-four (24") inches.
    - ii. Double line of copy is not permitted for secondary signage.
    - iii. The maximum allowable area of the secondary wall sign shall not exceed half the allowable area of the primary wall sign.
    - iv. Sign length shall not exceed 75% of tenant frontage.
    - v. One (1) secondary major tenant identification sign (facing ancillary parking lot) shall be allowed per building elevation, for a maximum of one (1) secondary wall sign.
  - c. Accessory signs shall not be permitted.
- PL4. No exposed or open neon is allowed.
- PL5. All wall signs shall consist of channel letters and individually mounted with no raceway attachments.
- PL6. The project shall be developed in substantial conformance with the approved sign program (Attachment A) on file with the Planning Division. Any changes shall be subject to the review and approval of the Director of Community Development.
- PL7. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
- PL8. The signs shall not be located in such a manner as to impede traffic or sight visibility.
- PL9. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
- PL10. This approval must be used within one (1) year from the date of issuance. This approval shall be considered null and void if not acted upon by December 6, 2007.

PL11. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this permit. The notarized affidavit then must be returned to the Community Development Department before approval is granted.

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

Sincerely,

A handwritten signature in black ink, appearing to read "M. Marshall". The signature is fluid and cursive, with a long horizontal stroke at the end.

Mike Marshall  
Assistant Planner II

DEC 06 2006

PLANNING APPROVAL AS MARKED  
SUBJECT TO ALL APPLICABLE SECTIONS  
OF THE UNIFIED DEVELOPMENT CODE  
CITY OF SANTA CLARITA  
COMMUNITY DEVELOPMENT  
*m. m. m.*  
PLANNING DIVISION *mm*

# Crossroads

## CENTER

23026 - 26270 Bouquet Canyon, Santa Clarita, Ca.

Master Sign Program  
approved per  
MC 06-229  
SZ 06-033





**INTRODUCTION**

The purpose of this sign program is to insure that all signage be consistent with the project owner’s intent to create a visually appealing, yet functional commercial environment and also to ensure the design and production quality of all signs within the project. The signs specified herein shall be related to their surroundings in terms of size, shape, color and material, as well as illumination, in order to complement the overall design of the building and not compete visually with other signs in the area..

**TENANT SIGN SUBMITTALS & APPROVAL**

Prior to sign fabrication, tenant or his/her sign contractor shall submit for Landlord’s review and approval, three (3) sets of complete and fully dimensional and detailed shop drawings for the proposed tenant storefront sign and panel layout for the freestanding sign if a space is allocated to the tenant as per the provisions outlined in the tenant’s lease.

All tenant sign submittals shall be within fifteen (15) working days of receipt - be reviewed by the Landlord and/or Landlord’s agent for conformance with the provisions of the Landlord’s sign standards and city of Santa Clarita approved planned sign program for the Crossroads Center. Landlord shall, at Landlord’s sole and absolute discretion, approve tenant’s submittal contingent upon any required modifications, or disapprove tenant’s sign submittal. Tenant shall continue to resubmit sign plans - modified as necessary- until Landlord approval is received. Tenant is required to have a California licensed sign contractor submit Landlord approved sign plans to City of Santa Clarita for sign permits prior to commencing any signage for the tenant space.

**GENERAL GUIDELINES**

1. Conformance to the standards specified herein will be strictly enforced. Each tenant will be responsible for the design, installation and maintenance of their sign(s). Scratched or damaged paint, improperly installed signs, or building damage as a result of sign installation, must be replaced or repaired within thirty (30) days of occurrence at the sole expense of the tenant.
2. No signs will be painted directly onto a building wall or surface of any building, except where the sign becomes an integral part of the building design, and must be approved in writing, by the Landlord.
3. Sale signs, special announcements, posters, sandwich boards, or any non-permanent signs are not permitted.
4. No sign shall be constructed or maintained to flash, rotate, or in any way simulate motion or create sound.
5. No sign shall be constructed or located as to constitute a nuisance or in any way be detrimental to adjoining uses.
6. No vehicles displaying shop tenant logos, names or other advertising shall be permitted to be parked in areas of the shopping center lot which are visible from adjacent roadways.
7. Should discrepancies occur regarding specifications contained herein, the City of Santa Clarita Signage Zoning Ordinance relating to signs shall be the determinant reference.
8. Signs on exposed raceways on fascia, exposed lighting, boxes or electrical components are not allowed.
9. No moving, flashing, painted signs, audible type wood signs, political or banner or sticker type signage are to be permitted. Any signs that are not approved by landlord or permitted by the city of Santa Clarita shall be removed at tenants expense within 5 calender days.

**Crossroads Center SIGN PROGRAM**

Photo rendition for representational purposes only. Photo scales are close approximate. Actual sign may appear larger or smaller than shown. Colors shown may vary due to ink jet printing interpretations.


<b>REVISIONS</b> NO. DATE BY NATURE OF REVISION		Job Name <b>CROSSROADS CENTER SIGN PROGRAM</b>	
		Address <b>23026 - 26270 Bouquet Canyon</b>	
No. 1 Date By Nature of Revision		Salesperson <b>G. Navarro</b>	
No. 2 Date By Nature of Revision		Drawn By <b>GN</b>	
No. 3 Date By Nature of Revision		Date <b>10-26-06</b>	
No. 4 Date By Nature of Revision		Customer Approval  	
No. 5 Date By Nature of Revision		Sheet Number <b>1 of 10</b>	
No. 6 Date By Nature of Revision		Drawing Number  	
SAN PEDRO ELECTRIC SIGN COMPANY 701 LaBrie Avenue Wilmington, California 90744 310-549-4661 office 310-549-8882 fax			

**SIGN DESIGN SPECIFICATIONS**

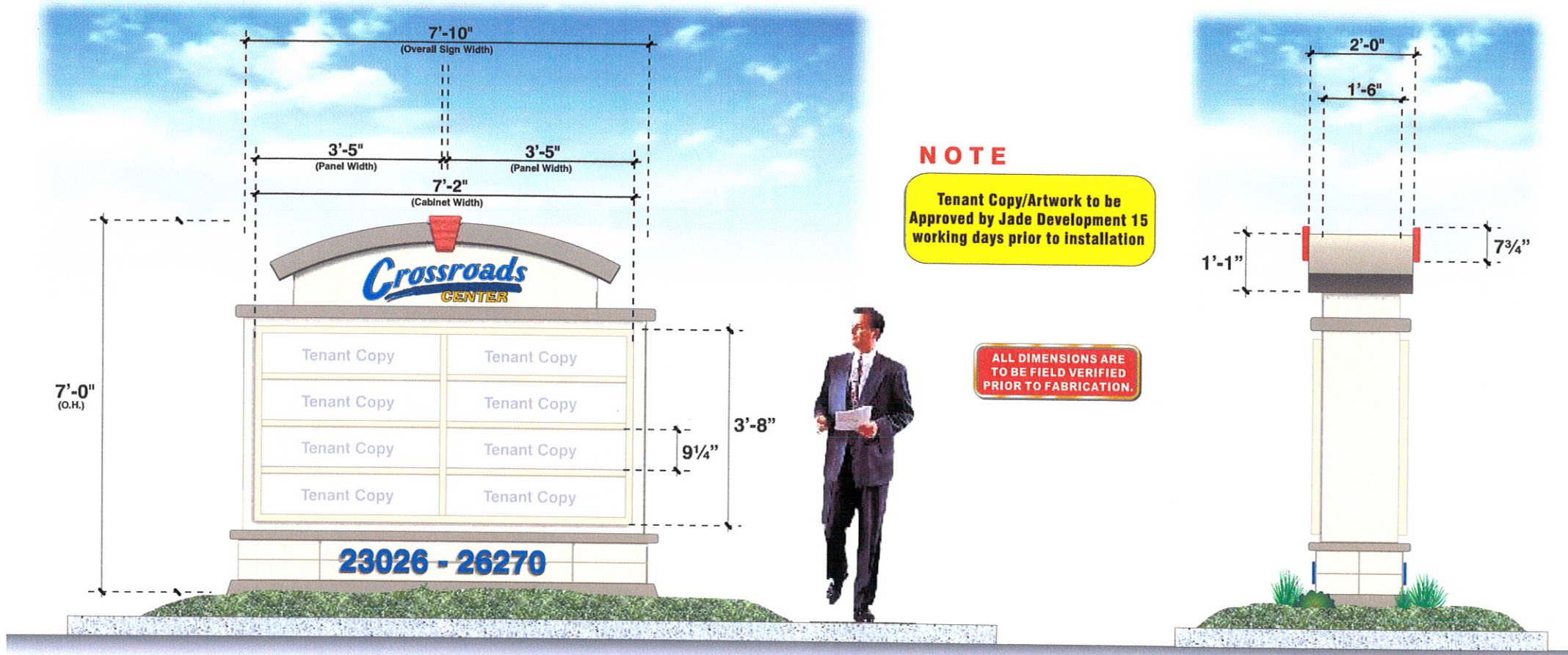
1. Sign sizes and specific sign locations for buildings are outlined in this sign program. Tenants may use their established logo symbols, and distinctive type styles as long as it complies to the sign guidelines outlined herein.
2. Sign length shall not exceed 75 percent of the building elevation on which the sign is located.
3. The tenant will be allowed a maximum of one (1) primary identification sign limited to the trade name and logo in a single line or two line format along the center of the building frontage in which a public entry is located.
4. Primary wall signs shall not exceed to a maximum of 1.5 square foot of signage per lineal foot of leased frontage.
5. Primary tenant signage logo and channel letters shall not exceed 30" overall height in single line layout and 36" in two line copy layout, however in either type sign maximum allowable square sign area is NOT to be exceeded .
6. A tenant will also be allowed a maximum of One (1) additional secondary identification sign providing the tenant has more than more than one elevation facing a public street or parking lot. (As herein, street definition shall be limited to Public Streets, but exclude alleys and service ways) and has an building entrance on the second elevation. Secondary signs shall be in single line format only.
7. Secondary wall signs shall not exceed .75 (3/4) square foot of signage for every 1 foot of leased building length. In any case, no sign should exceed a maximum of 50 square feet on secondary elevations of tenants leasehold; whichever is smaller.
8. The area of one sign will be individually applied letters and logo symbols shall be calculated by a rectangle around the outside of the letters & Logo.
9. In no case shall a secondary identification sign exceed an overall height of 24" single line copy.
10. All tenant identification wall signs shall be internally illuminated channel letters, flush mounted to building fascia.
11. Where more than one sign is permitted to a business, all signs shall be consistent in design, style, shape, color, illumination, and text.
12. The color of the tenant identification wall signs is tenants choice and shall be approved by landlord prior to fabrication.
13. No tenant shall modify, change in any fashion or manor the exterior configuration of the building fascia. All new proposed signage shall be in accordance to the Crossroads Center signage program.
14. The tenant shall be solely and fully responsible for all costs involved in the design, construction and installation and maintenance of their own signage.
15. Upon tenant vacating leased premises, it will be the responsibility of the vacated tenant to remove, all signage, signage electrical behind wall and restore building fascia where signage has been removed back to its originals condition. This repair is to be done at vacated tenants expense.
15. Vacated tenant shall also at its own expense replace any monument sign faces that identified the vacated tenants name or information, the replaced monument sign face shall be the same type and color as existing sign backgrounds on monument sign.
16. All tenant signage shall be manufactured and installed in compliance with U. L. Requirements and specifications. All tenant signage shall also comply with National Electrical Code and the City of Santa Clarita planning, building and electrical codes.
17. All signage is to comply with Title 24 of the state of California energy conservation act. This approval and compliance is the sole responsibility of the tenant or tenants sign contractor to obtain the necessary approvals prior to fabrication and or installation.
18. All tenant signage is to be reviewed and approved by landlord. Also by the city of Santa Clarita Planning and Building department. Sign permits are to be obtained prior to manufacturing and installation. **NO CHANGES SHALL BE ALLOWED AFTER SIGNAGE APPROVAL FROM LANDLORD AND SIGN APPROVALS AND PERMITTING FROM CITY OF SANTA CLARITA.**
19. All tenants signage is to obtain a "FINAL SIGN INSPECTION" from the city of Santa Clarita prior to energizing signage.

**Crossroads Center SIGN PROGRAM**

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<b>CROSSROADS CENTER SIGN PROGRAM</b>		Job Name	Santa Clarita, Ca.	
23026 - 26270 Bouquet Canyon		Address	Drawn By	Sheet Number
G. Navarro		Salesperson	EN	2 of 10
10-26-06		Date	Date	Drawing Number
Customer Approval				
<b>REVISIONS</b>				
NO.	DATE	BY	NATURE OF REVISION	
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 SAN PEDRO ELECTRIC SIGN COMPANY 701 Lorraine Avenue Wilmington, California 90744 310-549-4661 office 310-549-8882 fax				





**NOTE**  
 Tenant Copy/Artwork to be  
 Approved by Jade Development 15  
 working days prior to installation

**ALL DIMENSIONS ARE  
 TO BE FIELD VERIFIED  
 PRIOR TO FABRICATION.**

**A-1 & 2**

**Crossroads Center SIGN PROGRAM**

**SIGN SPECIFICATIONS:**

**1 MONUMENT TOP SECTION:**

ITEM	DESCRIPTION	SPECIFICATION
<b>SIGN STRUCTURE</b>	Sheet Metal Construction	Cornice w/Dk. Brown (Ellis Paints #340) smooth finish, Face w/Lt. Brown (Ellis Paints #446) smooth finish.
<b>"CROSSROADS" COPY</b>	Routed alum./plex backed.	Routed aluminum w/#7328 White Acrylic w/translucent vinyl overlay.
<b>ILLUMINATION</b>	Flourescent lamps	800 m.A. H.O. Flourescent lamps

**2 MONUMENT MID SECTION:**

ITEM	DESCRIPTION	SPECIFICATION
<b>SIGN STRUCTURE</b>	Sheet Metal Construction	Lt. Brown (Ellis Paints #446) Texcote finish.
<b>RETAINERS</b>	2" Sheet Metal	Ellis Paints #439 smooth painted finish.
<b>DIVIDER BARS</b>	1½" Aluminum	Ellis Paints #439 smooth painted finish.
<b>TENANT COPY</b>	Translucent Vinyl Film	Applied vinyl film (Colors to be determined).
<b>ILLUMINATION</b>	Flourescent lamps	800 m.A. Flourescent lamps

**3 MONUMENT BASE SECTION:**

ITEM	DESCRIPTION	SPECIFICATION
<b>CORNICES</b>	Sheet Metal Construction	Dk. Brown (Ellis Paints #340) smooth finish.
<b>BASE</b>	Aluminum Construction	Ellis Paints #340 & #446 smooth finish.
<b>ACCENT LINES</b>	Simulated Accent Lines	Ellis Paints #439 smooth finish.
<b>ADDRESS NUMBERS</b>	Sintra	¼" White Sintra painted to match Sultan Blue.

**Crossroads Center SIGN PROGRAM**

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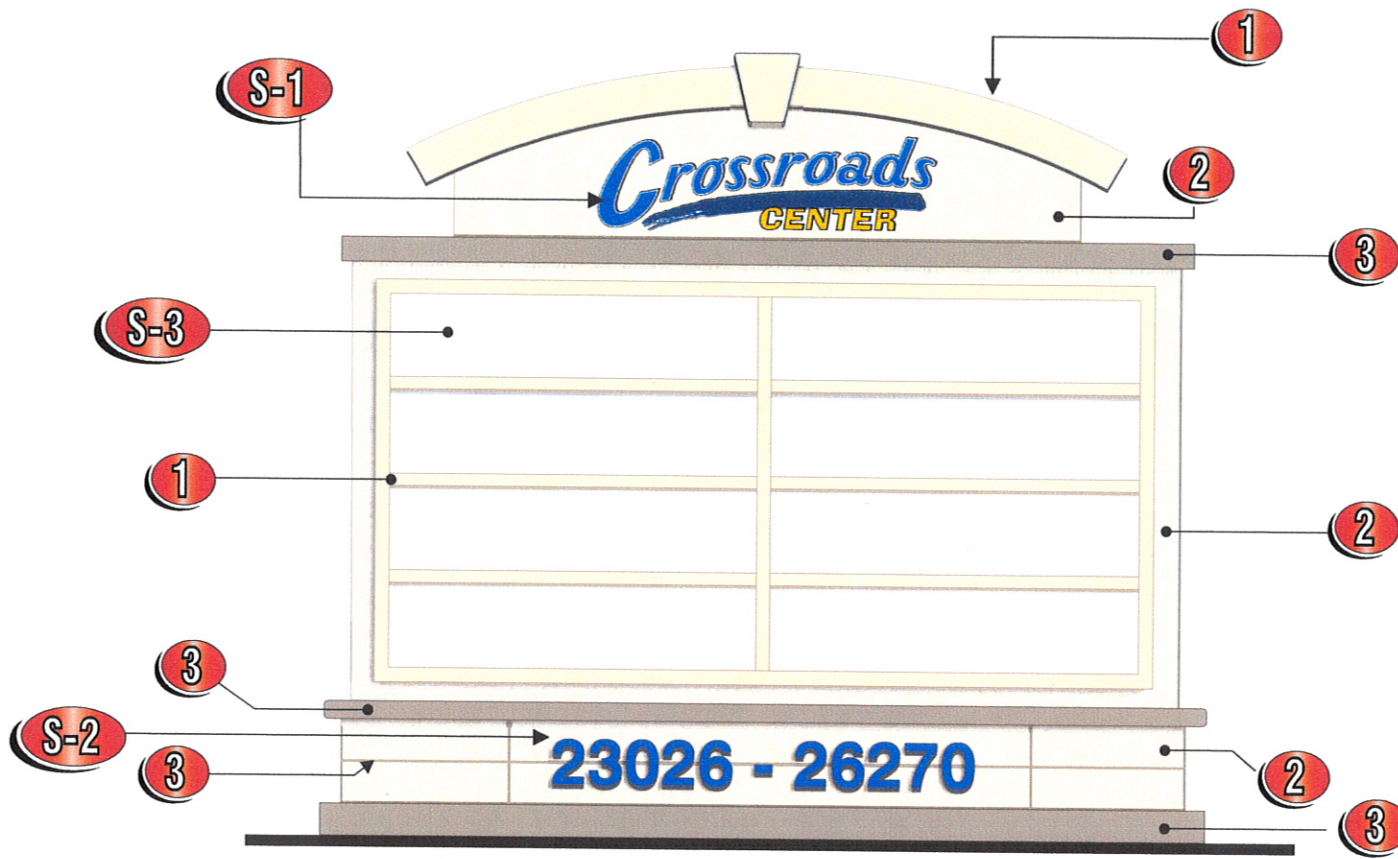
**CROSSROADS CENTER SIGN PROGRAM**

Job Name: CROSSROADS CENTER SIGN PROGRAM  
 Address: 23026 - 26270 Bouquet Canyon  
 Salesperson: G. Navarro  
 Customer Approval: EN

Location: Santa Clarita, Ca.  
 Sheet Number: 3 of 10  
 Drawn By: EN  
 Date: 10-26-06  
 Drawing Number: [blank]

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**SAN PEDRO ELECTRIC SIGN COMPANY**  
 701 Laime Avenue  
 Wilmington, California 90744  
 310-549-4661 office  
 310-549-8882 fax



COLOR SCHEDULE	
1	Light Beige Smooth Satin Finish
2	Light Beige Tex-cote Flat Finish
3	Wooden Oar Tex-cote Finish

**Crossroads Center SIGN PROGRAM**

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**SPESCO SIGN COMPANY**  
701 Labree Avenue  
Wilmington, California 90744  
310-549-4661 office  
310-549-8882 fax

**REVISIONS**

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**CROSSROADS CENTER SIGN PROGRAM**

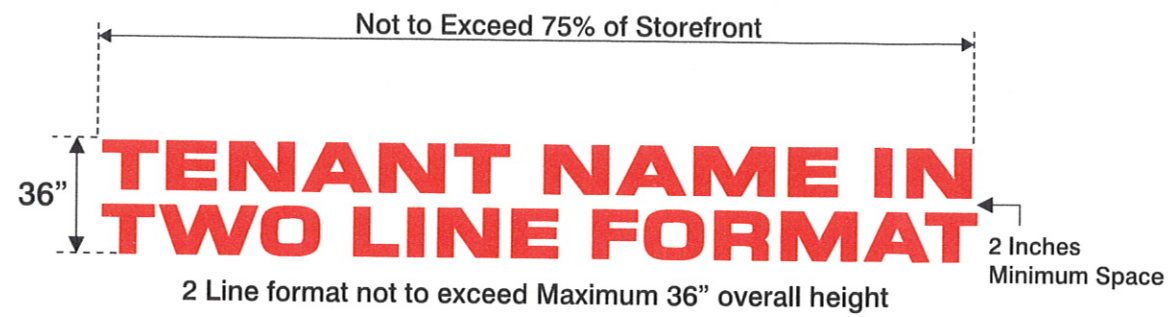
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Address: **23026 - 26270 Bouquet Canyon**

Salesperson: **G. Navarro** Date: **10-26-06** Drawn By: **GN**

Customer Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Santa Clarita, Ca. Sheet Number **4 of 10** Drawing Number

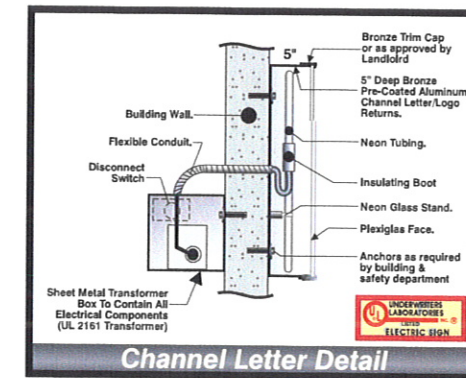
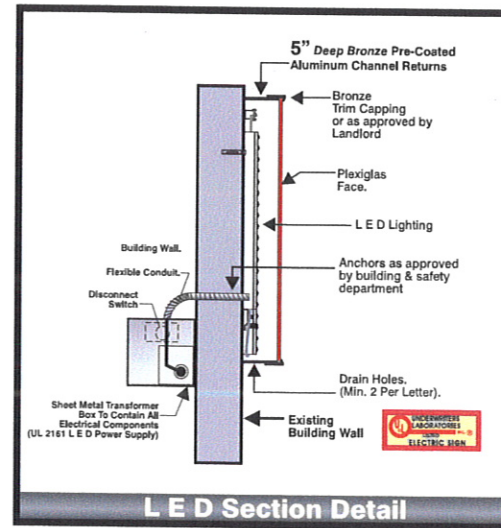


**SIGN TYPE CHANNEL LETTERS AND LOGOS**  
 Sign Specifications For All Tenants In All buildings.

**Overall not to exceed Maximum of 30" overall height in SINGLE LINE or 36" in TWO LINE format.**

**Tenant Channel Letter & Logo Sign Specifications**

- Face Colors:** Tenants choice of color is allowed and Registered Trademark logo colors. All colors subject to Landlord and City of Santa Clarita review and approvals.
- Trim-Capping:** 1" Duranotic Bronze Trim Cap or as approved by Landlord
- Channel Letter Returns:** 5" Deep Pre-coated Duranotic Bronze
- Channel Logo Returns:** 5" Deep Pre-coated Duranotic Bronze
- Illumination:** 30 ma. Neon tubing illumination or L. E. D. To comply with Title 24 required by the state of California Energy Conservation Act. Neon or L. E. D. lighting to match face color for maximum color enhancement.



NOTE: Exposed Raceways, Crossovers, non-listed products or any modifications after tenant signage has been approved by landlord and permitted by the city of Santa Clarita shall not be permitted. Tenant to provide landlord Sign Contractors California State Contractors License number, Workers Compensation & General Liability Insurance Certificates also naming landlord as "Also Insured" prior to any sign work beginning in the Crossroad Center.

**Crossroads Center SIGN PROGRAM**

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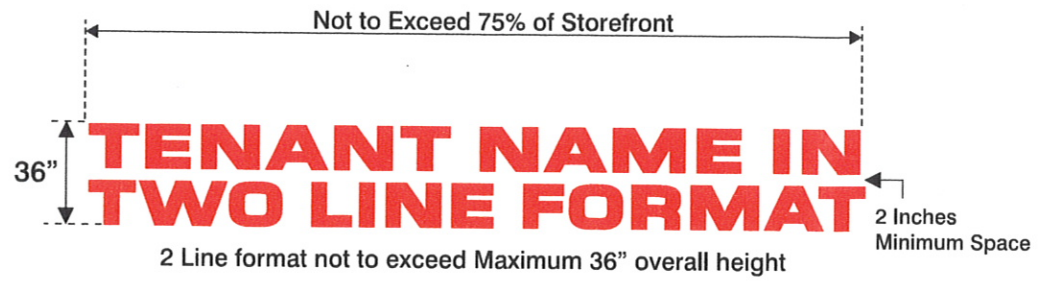
Job Name		CROSSROADS CENTER SIGN PROGRAM		
Address		23026 - 26270 Bouquet Canyon		
Salesperson		G. Navarro		
Customer Approval		Date 10-26-06		
City		Santa Clarita, Ca.		
Sheet Number		5 of 10		
Drawing Number		GN		
Date		Date		

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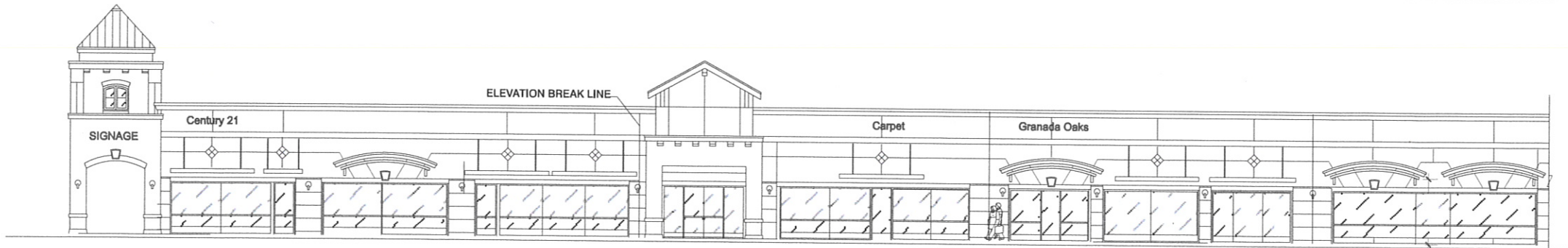
**SAN PEDRO ELECTRIC SIGN COMPANY**  
 701 Lazine Avenue  
 Wilmington, California 90744  
 310-549-4661 office  
 310-549-8882 fax



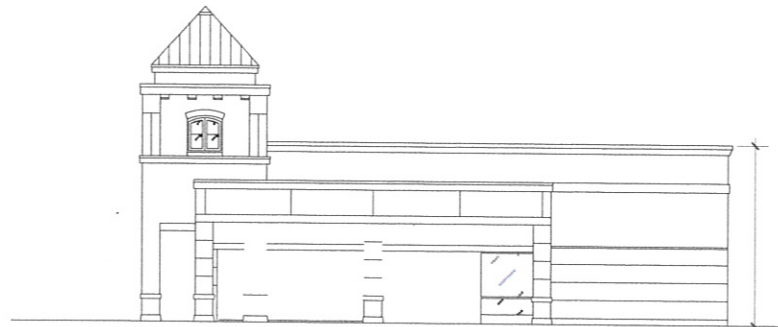
**SIGN TYPE CHANNEL LETTERS AND LOGOS**

Sign Specifications For All Tenants In All buildings.

**Overall not to exceed Maximum of 30" overall height in SINGLE LINE or 36" in TWO LINE format.**



Overall Front Building "A" Elevation



West View Tower #3



Front View Tower #3

**Building Elevation**

**Crossroads Center SIGN PROGRAM**

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<b>23026 - 26270 Bouquet Canyon</b>		Address	Santa Clarita, Ca.		
<b>G. Navarro</b>		Salesperson	Drawn By	EN	Sheet Number
<b>10-26-06</b>		Date	Date	EN	6 of 10
<b>Customer Approval</b>		Customer Approval	Date	EN	Drawing Number

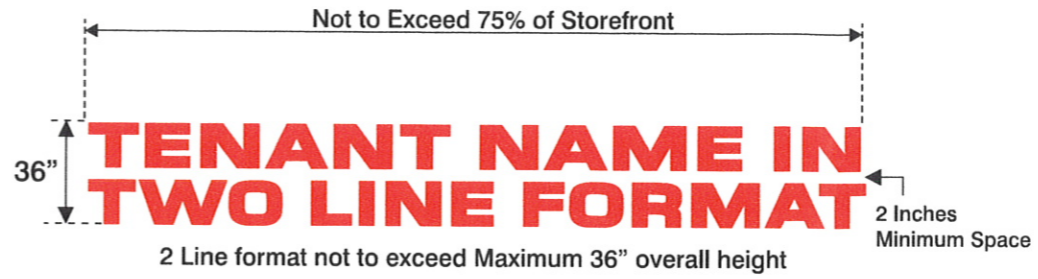
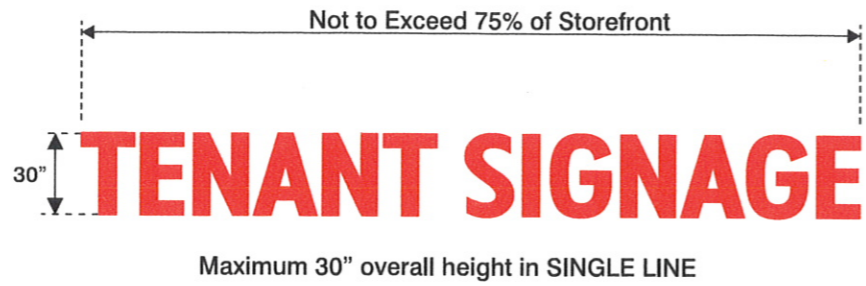
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**SAN PEDRO ELECTRIC SIGN COMPANY**

11 Leanne Avenue  
Wilmington, California 90744

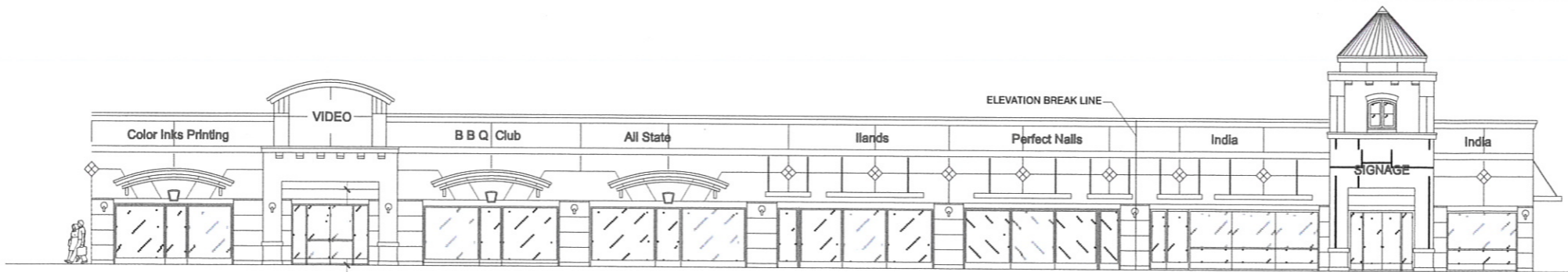
310-549-4661 office  
310-549-8882 fax



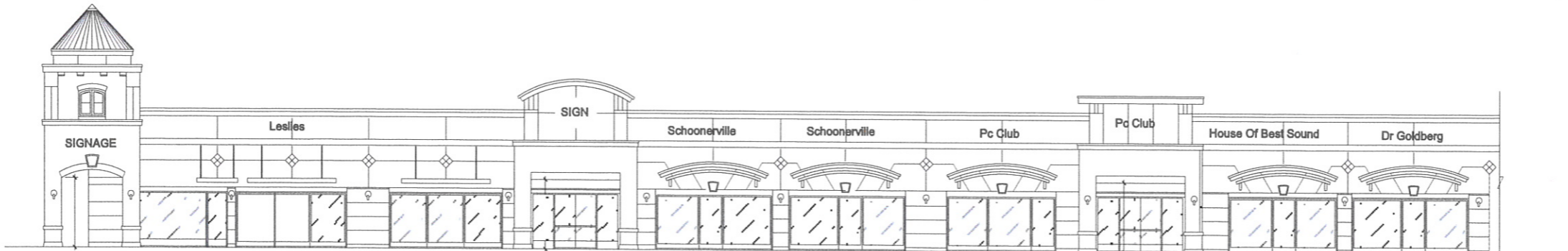
**SIGN TYPE CHANNEL LETTERS AND LOGOS**

Sign Specifications For All Tenants In All buildings.

**Overall not to exceed Maximum of 30" overall height in SINGLE LINE or 36" in TWO LINE format.**



Overall North Elevation Building "B" (West End)



Overall North Elevation Building "B" (East End)

**Building Elevation**

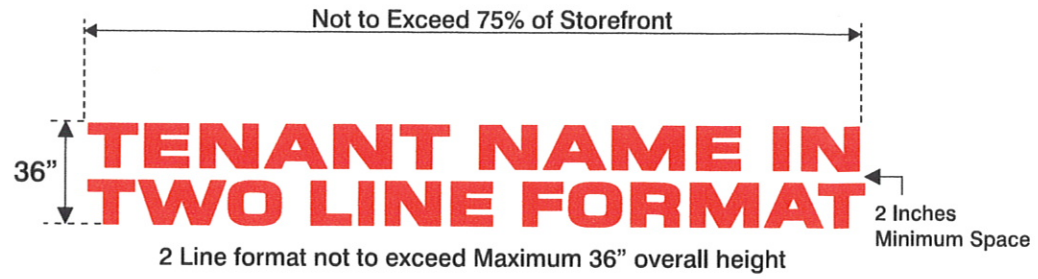
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<b>CROSSROADS CENTER SIGN PROGRAM</b>		Santa Clarita, Ca.
Job Name	Address	Sheet Number
Address	Salesperson	Drawing Number
Salesperson	Date	Date
Customer Approval	Date	Date
No.	DATE	BY
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<b>SAN PEDRO ELECTRIC SIGN COMPANY</b> 701 Lakma Avenue Wilmington, California 90744 310-549-4661 office 310-549-8882 fax		<b>SPESCO</b>



Maximum 30" overall height in SINGLE LINE



2 Line format not to exceed Maximum 36" overall height

2 Inches Minimum Space

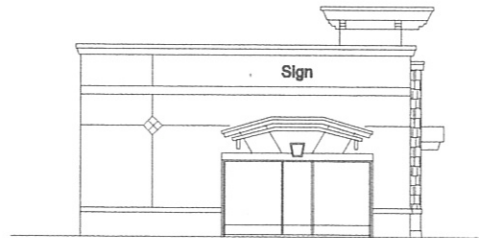
**SIGN TYPE CHANNEL LETTERS AND LOGOS**

Sign Specifications For All Tenants In All buildings.

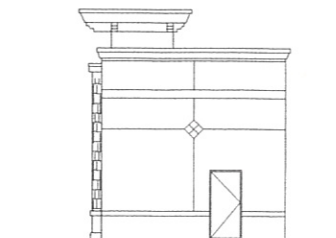
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ENTRY ELEVATION



EAST ELEVATION



WEST ELEVATION (BLDG. C)

Elevation Building "C"

**Building Elevation**

**Crossroads Center SIGN PROGRAM**

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<b>CROSSROADS CENTER SIGN PROGRAM</b>		Job Name	Santa Clarita, Ca.	
23026 - 26270 Bouquet Canyon		Address	Santa Clarita, Ca.	
G. Navarro		Salesperson	Drawn By	GN
10-26-06		Date	8 of 10	
Date		Drawing Number		

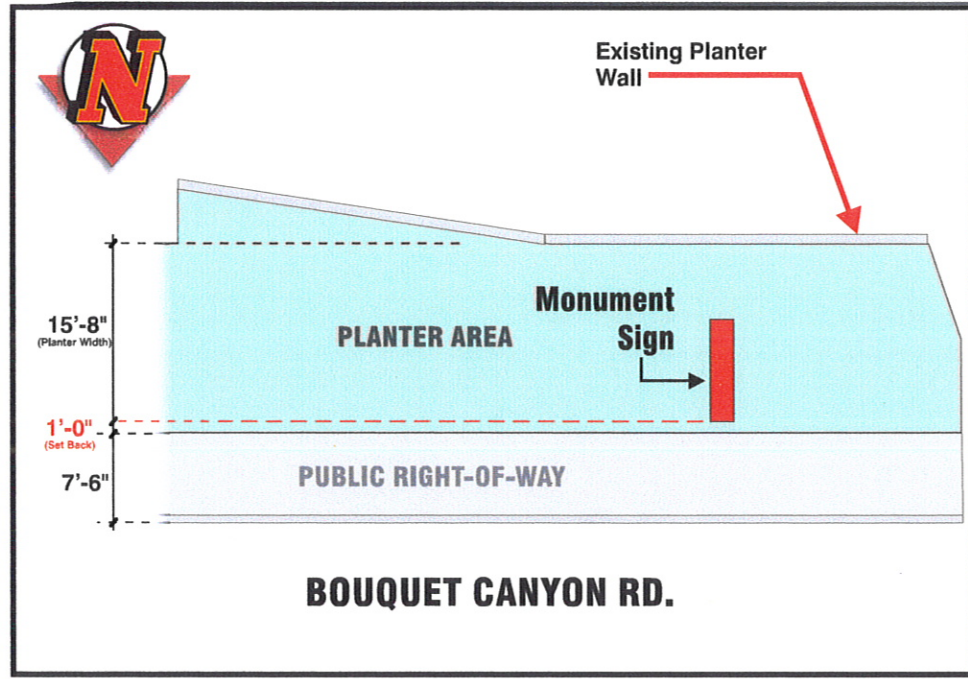
REVISIONS	
No.	DATE
1	BY
2	NATURE OF REVISION
3	BY
4	NATURE OF REVISION
5	BY

**SIGN PEDRO ELECTRIC SIGN COMPANY**  
 701 Laburne Avenue  
 Wilmington, California 90744  
 310-549-4661 office  
 310-549-8882 fax



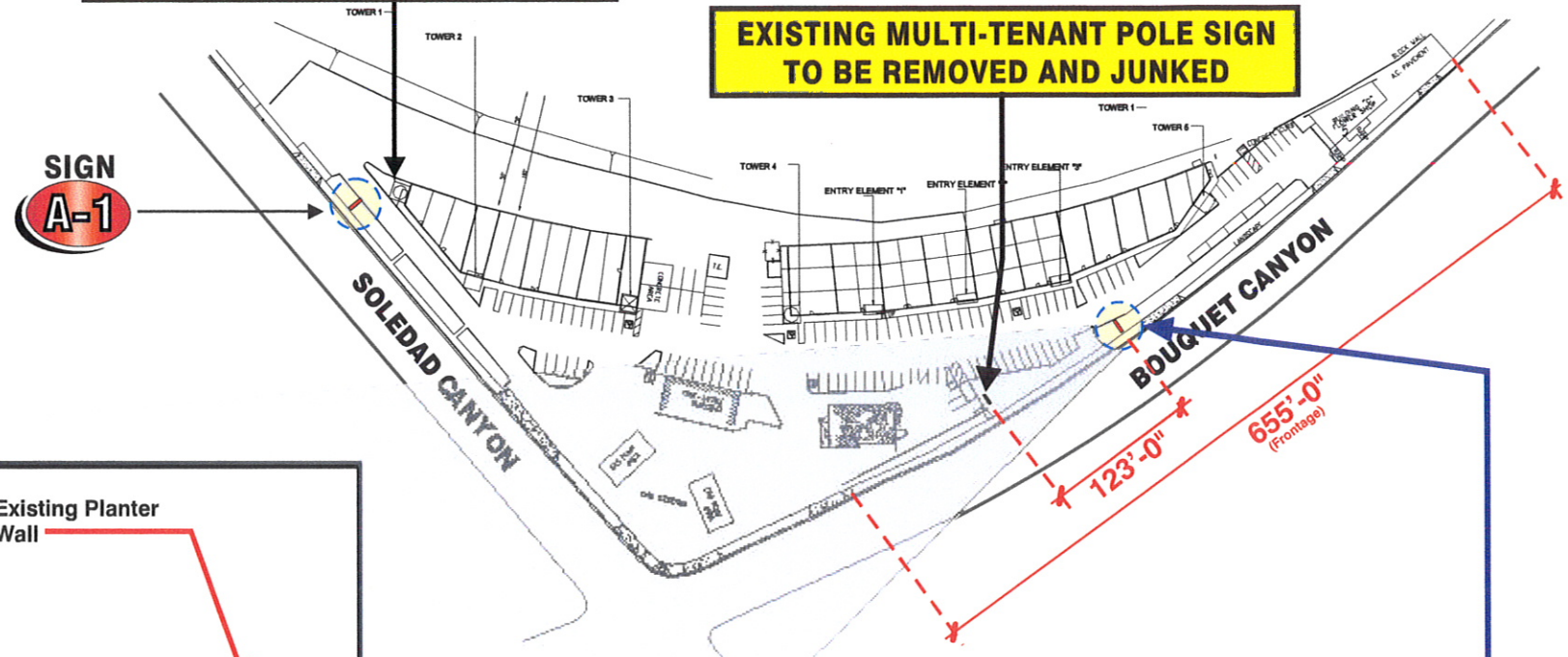
# General Site Plan



**A-2** **PLANTER DETAIL: MONUMENT SIGN AT BOUQUET CANYON RD.**

**EXISTING CENTURY 21 POLE SIGN TO BE REMOVED AND JUNKED**

**EXISTING MULTI-TENANT POLE SIGN TO BE REMOVED AND JUNKED**



## Crossroads Center SIGN PROGRAM

Photo rendition for representational purposes only. Photo scales are close approximate. Actual sign may appear larger or smaller than shown. Colors shown may vary due to ink jet printing interpretations.

<b>Job Name</b>		<b>CROSSROADS CENTER SIGN PROGRAM</b>	
<b>Address</b>		23026 - 26270 Bouquet Canyon	
<b>Salesperson</b>		G. Navarro	
<b>Customer Approval</b>			
<b>Job Name</b>		Santa Clarita, Ca.	
<b>Address</b>		Bouquet Canyon	
<b>Salesperson</b>		GN	
<b>Customer Approval</b>			
<b>Date</b>		10-26-06	
<b>Drawn By</b>		GN	
<b>Date</b>			
<b>Sheet Number</b>		10 of 10	
<b>Drawing Number</b>			

REVISIONS	
NO.	DATE BY NATURE OF REVISION
1	
2	
3	
4	
5	

<b>SAN PEDRO ELECTRIC SIGN COMPANY</b>	
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