



CITY OF SANTA CLARITA
Master Case Number 06-120
Sign Review 06-013
Discovery Gateway Spectrum 1 Sign Program
Per Code Section 17.19
of the Unified Development Code

Date: July 2, 2006

Applicant: Cort Howell
28328 Constellation Road
Santa Clarita, CA 91355

Request: The applicant is requesting approval of a sign program for the Discovery Gateway Spectrum 1 industrial center (Buildings B and C only) located at 28294-28328 Constellation Road. The project site is zoned BP (Business Park), in the City of Santa Clarita

Findings: The Community Development Department has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this sign review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL / MITIGATION MEASURES

GENERAL

- GC1. The approval of this project shall expire if not put into use within one (1) year from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code.
- GC2. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than sixty (60) days prior to expiration.
- GC3. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new



engineer, or change in the status of the developer, within 30 days of said change.

- GC4. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attach, set aside, void, or annul the approval of this Project by the City, which action is provided for in Government Code Section 66499.37. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this Condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) The City bears its own attorneys' fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC5. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC6. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC7. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC8. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must be returned to the Planning Division before approval is granted.
- GC9. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. The applicant is granted approval for the proposed sign program for the Discovery Gateway Spectrum 1 industrial center (Buildings B and C only),

subject to the following conditions of approval. Any changes or modifications to the proposed sign program shall be subject to the review and approval of the Director of Community Development.

Monument Signs

- PL2. The applicant shall have permission to install a total of one (1) monument sign on the project site in accordance with the approved sign program. One (1) monument sign shall be permitted at the entrance along Constellation Road, as identified in the approved sign program.
- PL3. The proposed monument sign shall be set back a minimum of one (1) foot from the property line. The area between such street or right-of-way and the monument sign shall be attractively landscaped and maintained to enhance the appearance of such sign. All monument signs shall be developed in accordance with the Discovery Gateway Sign Program (Attachment A), prepared by Image Factor, and the following:
- a. The proposed monument sign identified on the sign program as "M1" shall display "Discovery Gateway Spectrum 1." The monument sign shall not exceed five feet six inches (5'-6") in height and shall not exceed eight feet (8'-0") in width.
 - b. In no event, shall a monument sign be located closer than two hundred fifty (250) feet from any other monument or freestanding sign on the same property or center.
 - c. All monument signs must clearly show the property address with letter sizes not to exceed eight (8) inches in height.

Wall Signage

- PL4. Building Identification signs shall not be permitted on either Building B or Building C. Each tenant within Building B and C shall be permitted a maximum of one (1) tenant wall sign on the front elevation (west elevation of Building B and east elevation of Building C). Wall signage shall be developed in accordance with the Discovery Gateway Spectrum 1 sign program (Attachment A) and the following:
- a. Building B:
 - i. Number: A maximum of one (1) tenant wall sign shall be permitted per tenant. Such wall sign shall be located on the west elevation of Building B, as identified on the approved sign program.
 - ii. Tenants of Building B shall include 28294, 28296, 28298, 28300, 28302, 28304, 28306, 28308, and 28310 Constellation Road.

- b. Building C:
 - i. Number: A maximum of one (1) tenant wall sign shall be permitted per tenant. Such wall sign shall be located on the east elevation of Building C.
 - ii. Tenants of Building C shall include 28312, 28314, 28316, 28318, 28320, 28322, 28324, 28326, and 28328 Constellation Road.
- c. The maximum allowable height for the aluminum tenant panel shall not exceed thirty inches (30"). The maximum allowable letter height shall not exceed twenty-four inches (24").
- d. Wall signs shall be located above each front tenant entrance as shown in exhibit 4.1 of the approved sign program.
- e. The maximum square footage permitted for all wall signs is one and a half (1 ½) square feet per linear foot of tenant store frontage. Secondary wall signs, shall not be permitted.
- f. The maximum sign width for all wall signs shall not exceed 75% of the tenant store frontage.
- g. No exposed or open neon is allowed.

Other Signing Conditions

- PL5. The project shall be developed in substantial conformance with the approved sign program (Attachment A) on file with the Planning Division. Any changes shall be subject to the review and approval of the Director of Community Development.
- PL6. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
- PL7. The signs shall not be located in such a manner as to impede traffic or sight visibility.
- PL8. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
- PL9. This approval must be used within one (1) year from the date of issuance. This approval shall be considered null and void if not acted upon by June 29, 2007.
- PL10. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this permit. The notarized affidavit then must

be returned to the Community Development Department before approval is granted.

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

Sincerely,



for James Chow
Assistant Planner II

File Copy
6/27/06



28294-28328 Constellation Rd.
Santa Clarita, CA

SIGN PROGRAM

SEPTEMBER 9, 2004

REVISED
April 10, 2006

Revised by



IMAGE FACTOR

DESIGN | FABRICATION

Original program developed by:



10980 BOATMAN AVENUE
STANTON, CA. 90680
PHONE 714/761-8200
FAX 714/761-2451

WWW.SIGNSANDSERVICESCO.COM

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PROJECT INFORMATION:

CONTACTS:

OWNERS ASSOCIATION:

Discovery Gateway Spectrum Association
c/o Vanguard Management
27202 Turnberry Lane, Suite 220
Valencia, California 91355
(661) 310-2005 Phone

CITY PLANNING

City of Santa Clarita
23920 Valencia Boulevard, Suite 300
Santa Clarita, California 91355
(661) 255-4330 Phone
(661) 259-8125 Fax

NEW SIGN CONSULTANT:

Image Factor, Inc.
25317 West Avenue Stanford
Valencia, CA 91355
Contact: Cary Llewelyn
(661) 295-0624 Phone
(661) 295-0628 Fax

PROJECT COLORS

BUILDING 'A' (KLM BUILDING)

- A** Frazee 8595D "Elmcourt"
- B** Frazee 8814M "Brindell"
- C** Frazee 8812W "Deville"
- D** Frazee 8700W "Powdering Snow"

BUILDINGS 'B' & 'C'

- E** Frazee 8714M "Wildcat"
- F** Frazee 8232W "Lulled Beige"
- G** Frazee 8700W "Powdering Snow"



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These drawings are for the sole purpose of expressing visual design intent and are not intended for actual fabrication purposes. Sign contractor accepts total responsibility for materials selection, fabrication and installation.

DATE: 09-03-04

- 1. 09-09-04
- 2. 09-16-04

Revised on 4/10/06 by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

DISCOVERY GATEWAY SPECTRUM I

28294-28328
Constellation Rd
Santa Clarita, CA

Index and
List of Sign Types

1.0

Occupant Signage Submittals & Approvals

There is a formal process for the development, review and approval of business identification signs at Discovery Gateway Spectrum I. All Occupant signage is subject to the Owner's Association's written approval. Approvals will be granted based upon the following:

1. Design, fabrication, and method of installation of ALL signs shall conform to this sign program.
2. Proposed signage is in harmony with adjacent signage conditions.

A. Submittal To Owner's Association

Occupant shall submit three (3) copies of detailed shop drawings to Owner's Association for approval prior to city submittal or sign fabrication. Sign drawings are to be prepared by a California licensed sign contractor. All signs must conform to the requirements of the City of Santa Clarita Planning & Building Departments.

Submittals shall include the following:

Front Elevations:

Scaled elevation of Occupant's sign depicting the proposed sign design and all the dimensions as they relate to the Occupant's sign.

Shop Drawings:

Fully dimensioned and scaled shop drawings specifying exact dimensions, copy layout, type styles, materials, colors, means of attachment, illumination, electrical specifications, and all other details of construction.

B. Submittal To City:

Three (3) full sets of plans must be approved by Owner's Association prior to submitting permit application. Occupant shall have their sign contractor submit all drawings and permit application to the City of Santa Clarita and will be responsible for all applicable applications and permit fees.

C. Occupant's Responsibility:

1. All Sign Contractors must be fully insured and approved by Owner's Association prior to installation. Owner must receive the Sign Contractor's Certificate of Insurance prior to installation.
2. The Owner's Association may, at their discretion and at the occupant's expense, correct, replace, or remove any sign that is installed without written approval.
3. Occupant shall be responsible for all expenses relating to the signage at his or her business.



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DISCOVERY GATEWAY SPECTRUM I

28294-28328
Constellation Rd
Santa Clarita, CA

Submittals &
Approvals

Occupant Signage Design Guidelines

The purpose of establishing these design guidelines is to ensure that each Occupant's sign will contribute to the center's success. High quality signage, which reflects the integrity of the architecture, is required.

A. Materials

Occupant signage is to be fabricated per specifications shown in Exhibit A.

B. Illumination

Occupant sign will be non- illuminated as per specifications shown in Exhibit A.

C. Sign Colors and Finishes

Occupant signage is to be finished per specifications shown in Exhibit A.

D. Typestyles and Logos

The use of logos and distinctive type styles is encouraged for all Occupant signs. Occupants may adapt established typestyles and logos. These images must be architecturally compatible and approved by Owner's Association.

E. Sizes and Quantities

Occupant sign sizes and quantities are to be as shown in Exhibit A.



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LATEST REVISION

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**DISCOVERY
GATEWAY
SPECTRUM I**

28294-28328
Constellation Rd
Santa Clarita, CA

Design
Guidelines

Prohibited Signs

The following signs are prohibited by the Owner's Association

- Temporary wall signs, pennants, flags, banners, inflatable displays or sandwich boards unless specifically approved by the Owner's Association, said signs would still be subject to City approval.
- Window signs except where specifically approved by the Owner's Association, said signs would still be subject to City approval.
- Exposed junction boxes, transformers, lamps, tubing, conduit, raceways or neon crossovers of any type.
- Pre-manufactured signs, such as franchise signs that have not been modified to meet the criteria.
- Paper, cardboard or styrofoam signs, stickers or decals hung around, on, or behind storefront glass.
- Exposed fasteners, unless fastener makes an intentional visual statement.
- Animated lights or other "moving" sign components, except where specifically approved by Owner's Association and City.
- Rooftop signs, signs projecting above the roof lines or parapets, signs on mansard roofs or equipment screens.
- Advertising or promotional signs on parked vehicles.



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LATEST REVISION:

Revised on 4/10/06 by:



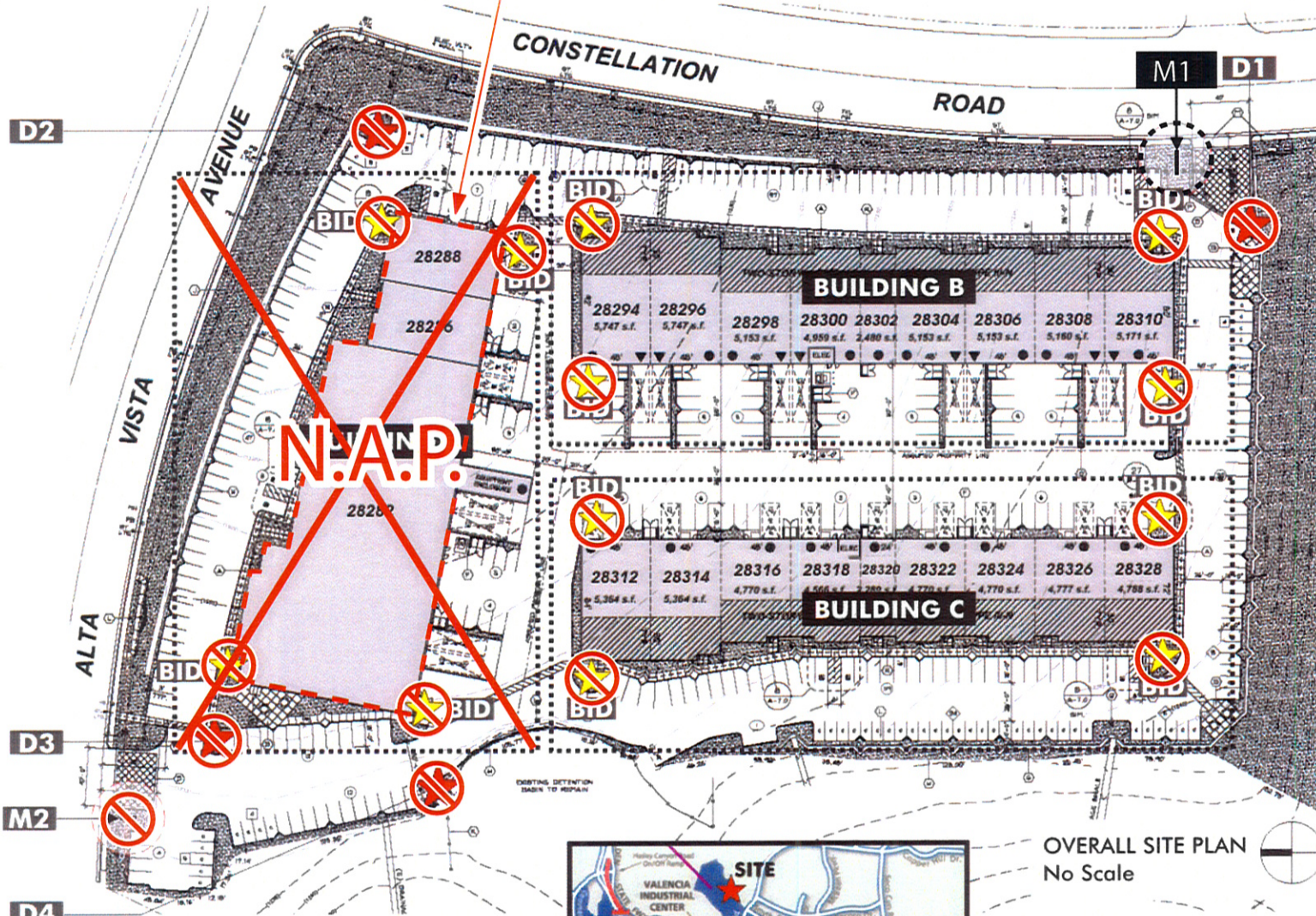
25317 West Avenue Stanford
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DISCOVERY GATEWAY SPECTRUM I

28294-28328
Constellation Rd
Santa Clarita, CA

Prohibited
Signs

Building "A" is Excluded from this Sign Program



OVERALL SITE PLAN
No Scale

VICINITY MAP
No Scale

- PROJECT SIGNAGE INVENTORY:**
- M1** MONUMENT
 - D1** DIRECTIONAL
 - BID** BUILDING IDENTIFICATION
 - ☒** DELETED FROM SCOPE



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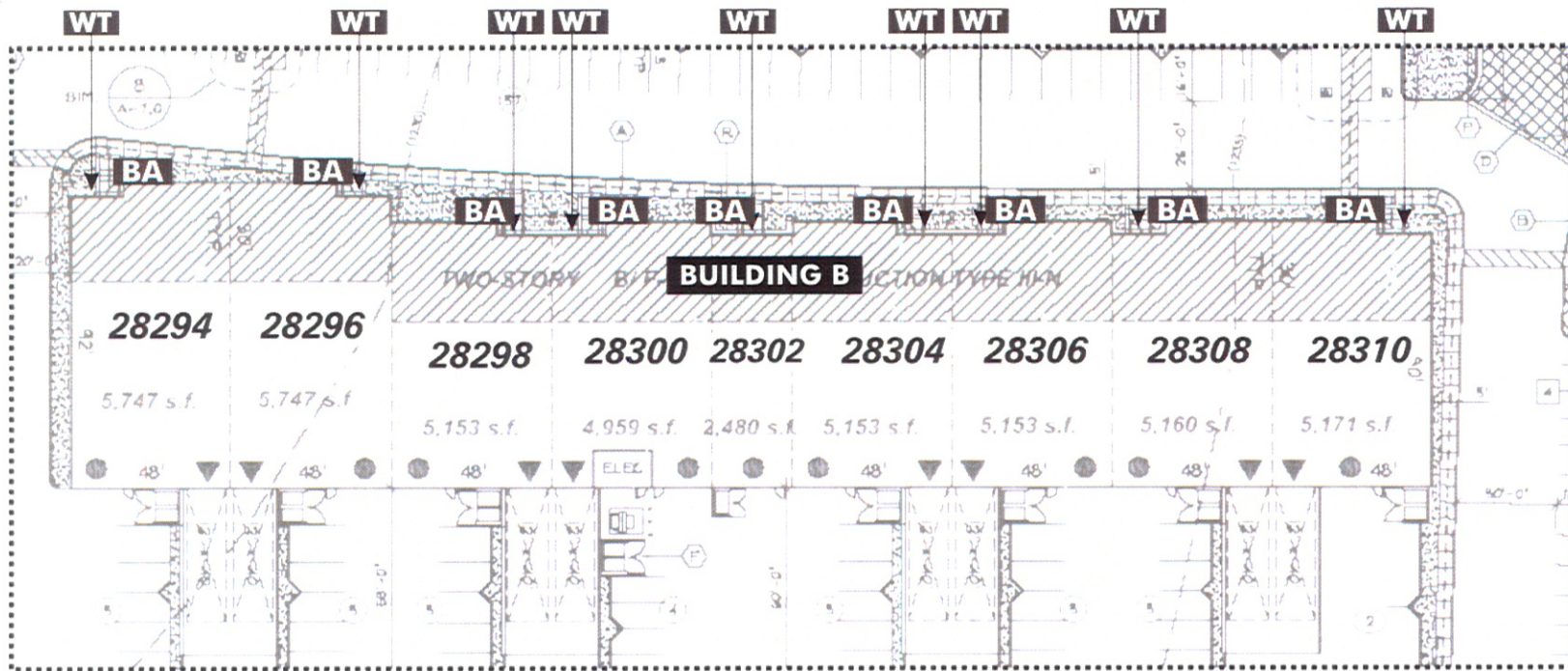


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**DISCOVERY
GATEWAY
SPECTRUM I**

28294-28328
Constellation Rd
Santa Clarita, CA

Site Plan



PER-OCCUPANT WALL SIGN INVENTORY:

- WT** OCCUPANT WALL SIGN
- BA** BUILDING ADDRESS

Condition:

No wall signs are permitted on the back of buildings (East Elevation of Building C).

In addition to the above (but not shown for clarity)

Each front entrance door to display

- FA** FRONT DOOR ADDRESS
- and each rear door to display
- RA** REAR DOOR ADDRESS



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email: cary@imagefactor.com

DISCOVERY GATEWAY SPECTRUM I

28294-28328
Constellation Rd
Santa Clarita, CA

Site Plan Detail
Signage Inventory
Building 'B'

Condition:

No wall signs are permitted on the back of buildings (West Elevation of Building C).

PER-OCCUPANT WALL SIGN INVENTORY:

- WT** OCCUPANT WALL SIGN
- BA** BUILDING ADDRESS

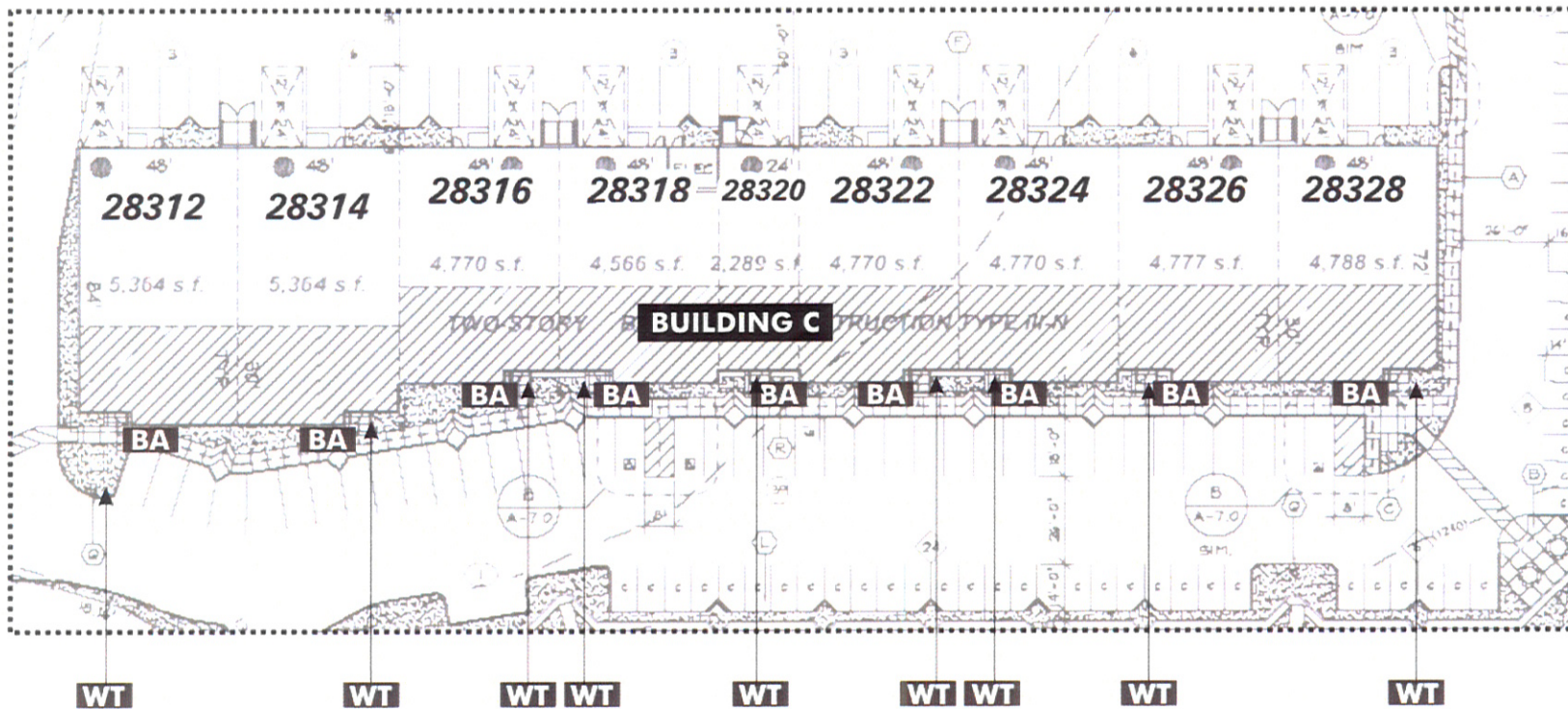
In addition to the above
(but not shown for clarity)

Each front entrance door to display

FA FRONT DOOR ADDRESS

and each rear door to display

RA REAR DOOR ADDRESS



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LATEST REVISION:

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IF IMAGE FACTOR
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 91355
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 Tel: 661.295.0624
 email: cary@imagefactor.com

**DISCOVERY
 GATEWAY
 SPECTRUM I**

28294-28328
 Constellation Rd
 Santa Clarita, CA

Site Plan Detail
 Signage Inventory
 Building 'C'

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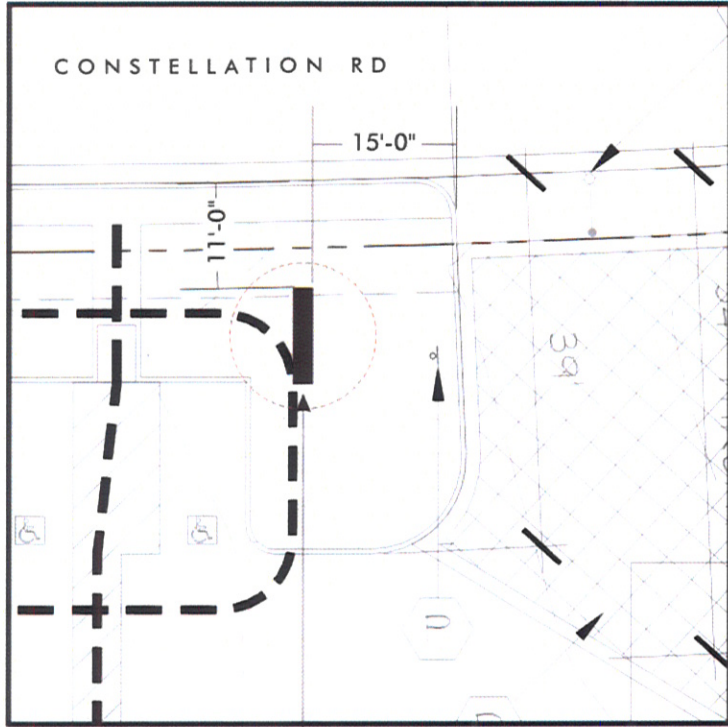
 **IMAGE FACTOR**

25317 West Avenue Stanford
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email: cary@imagefactor.com

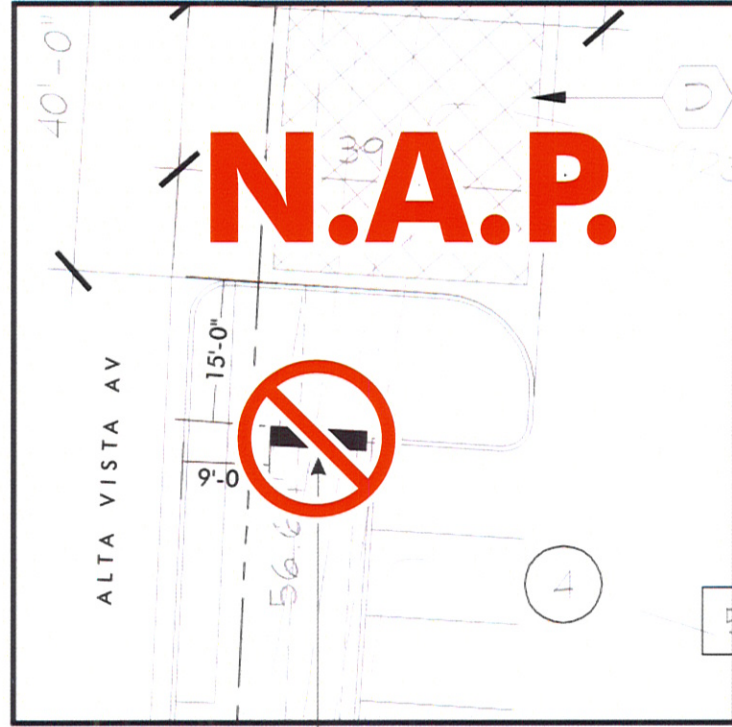
**DISCOVERY
GATEWAY
SPECTRUM I**

28294-28328
Constellation Rd
Santa Clarita, CA

Site Plan Detail
Monument Sign
Locations



M1 (Building Address #s 28294-28328)

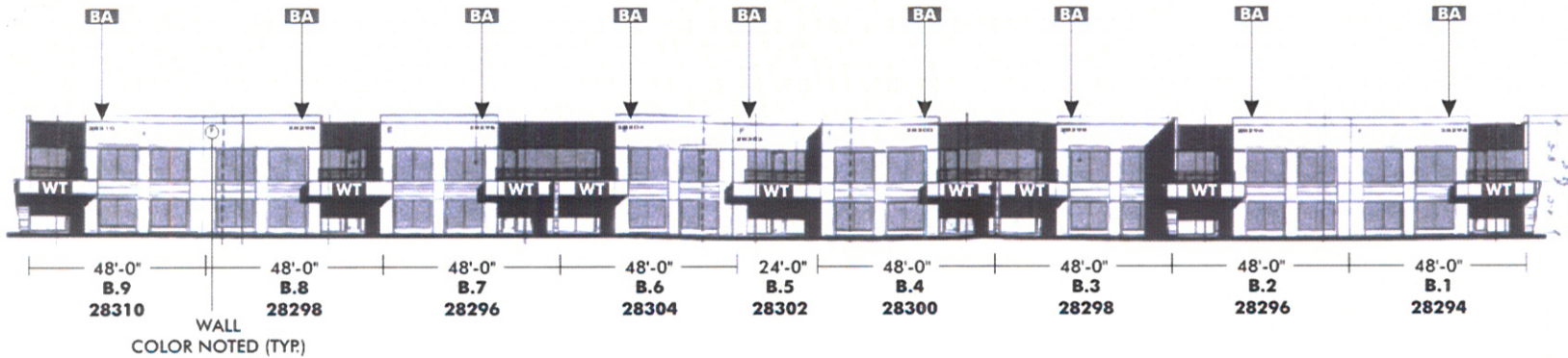


M2 (Building Address #s 28282-28288)

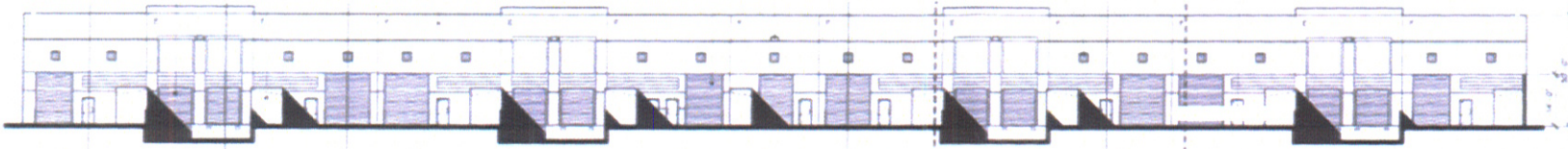
MONUMENT SIGN LOCATIONS

SCALE: 1"=20'

PLEASE NOTE THERE WILL ONLY BE (1) MONUMENT SIGN ON THIS PROJECT



WEST ELEVATION - BUILDING 'B'



EAST ELEVATION - BUILDING 'B'

WALL SIGN INVENTORY:

- WT** OCCUPANT WALL SIGN
- BA** BUILDING ADDRESS

Each front entrance door to display
FA FRONT DOOR ADDRESS
 And each rear door to display
RA REAR DOOR ADDRESS

BUILDINGS 'B' & 'C' COLORS:

- E** Frazee 8714M "Wildcat"
- F** Frazee 8232W "Lulled Beige"
- G** Frazee 8700W "Powdering Snow"



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**DISCOVERY
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28294-28328
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**Elevation:
 Building B**

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 **IMAGE FACTOR**

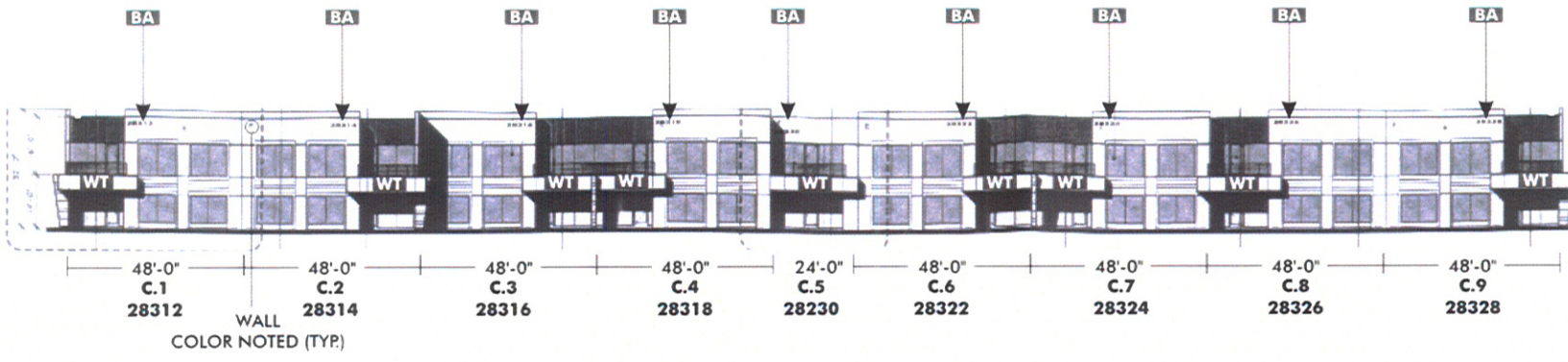
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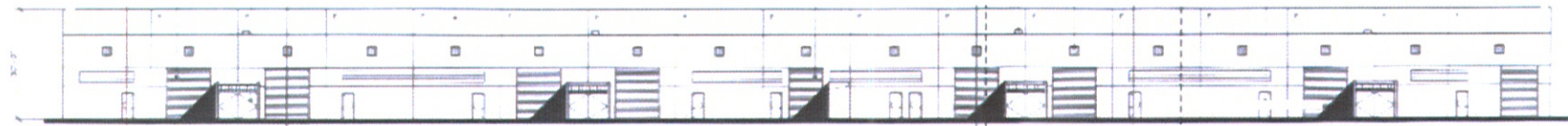
**DISCOVERY
GATEWAY
SPECTRUM I**

28294-28328
Constellation Rd
Santa Clarita, CA

**Elevation:
Building C**



EAST ELEVATION - BUILDING "C"






WEST ELEVATION - BUILDING "C"

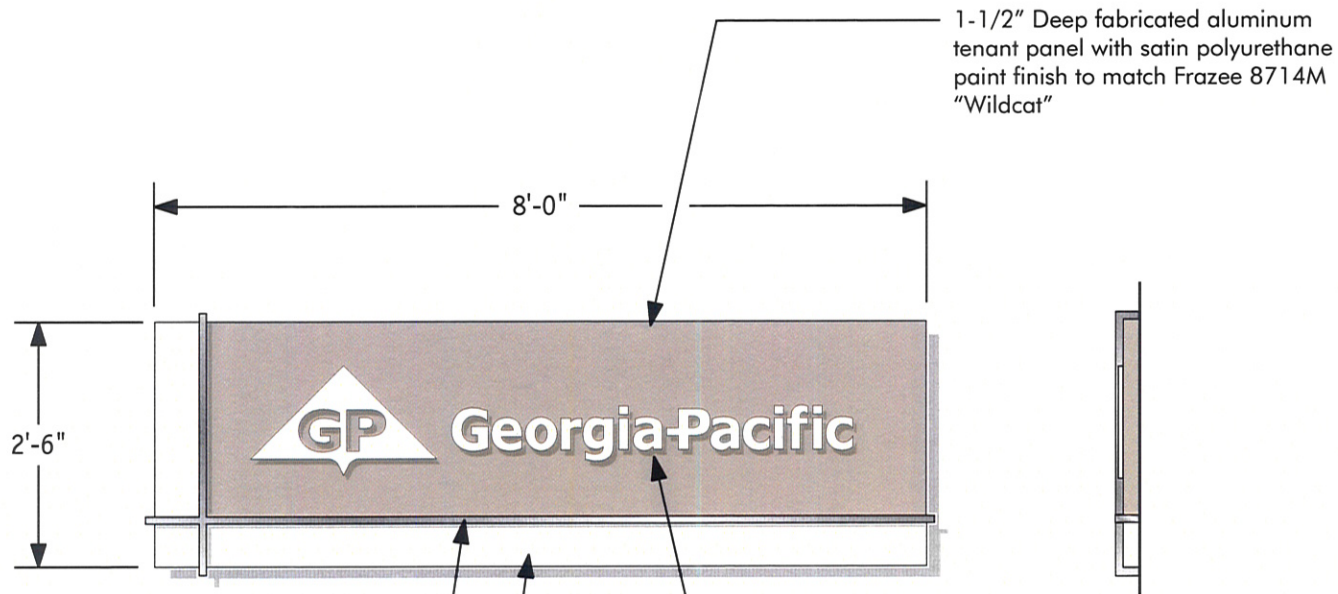
Scale: 1"=50'

WALL SIGN INVENTORY:

WT OCCUPANT WALL SIGN	Each front entrance door to display
BA BUILDING ADDRESS	FA FRONT DOOR ADDRESS
	And each rear door to display
	RA REAR DOOR ADDRESS

BUILDINGS 'B' & 'C' COLORS:

 E Frazee 8714M "Wildcat"
 F Frazee 8232W "Lulled Beige"
 G Frazee 8700W "Powdering Snow"



Tenant Wall Sign Elevation
SIGN TYPE: WT

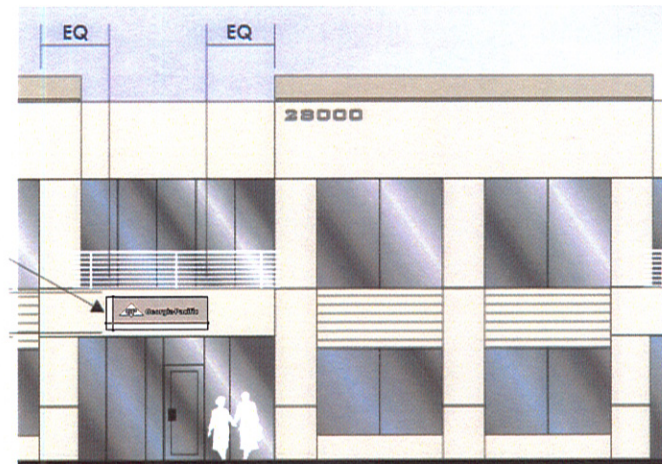
Tenant Wall Sign Section

1"x 1" Stainless steel tube with #4
brushed finish to match railing

1-1/2" Deep fabricated aluminum
panel with satin polyurethane paint
finish to match Frazee 8700W
"Powdering Snow"

3/8" Thick acrylic tenant lettering with
satin paint finish to match Frazee 8700W
"Powdering Snow"

Located over each tenant entrance



TYP. BLDG. B OR C SEGMENT ELEVATION



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DISCOVERY GATEWAY SPECTRUM I

28294-28328
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Exhibit A

Tenant
Wall Signs

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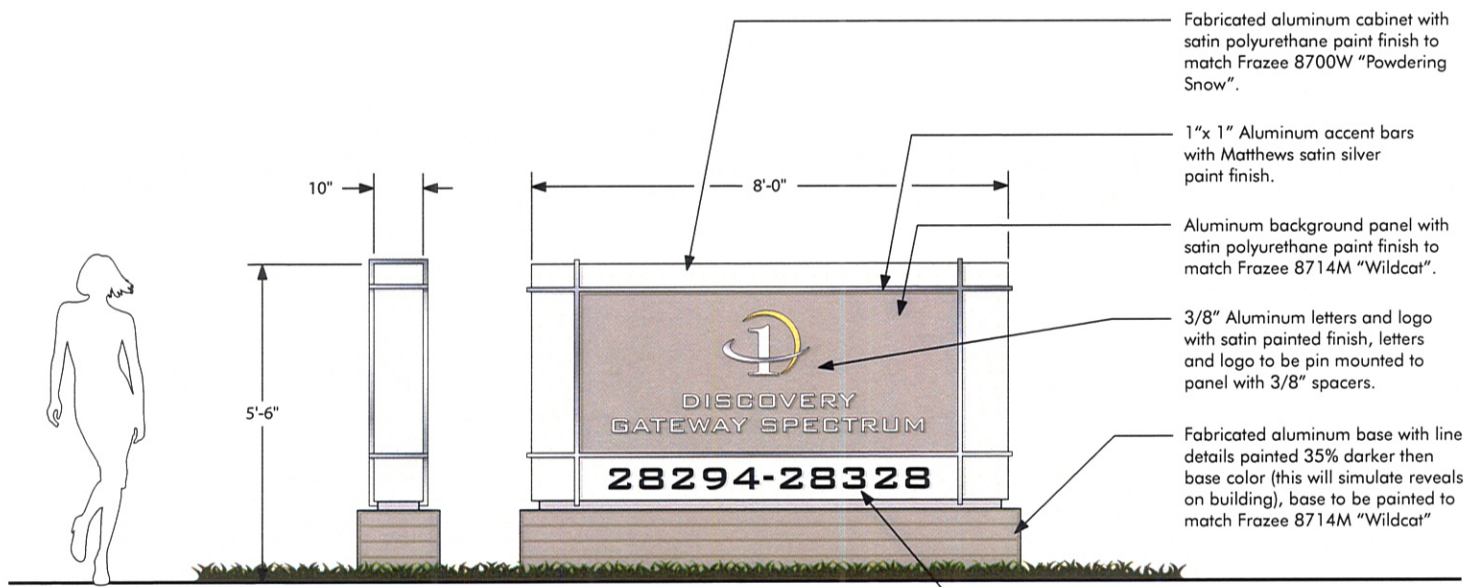
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**DISCOVERY
GATEWAY
SPECTRUM I**

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Exhibit B
Monument



Fabricated aluminum cabinet with satin polyurethane paint finish to match Frazee 8700W "Powdering Snow".

1"x 1" Aluminum accent bars with Matthews satin silver paint finish.

Aluminum background panel with satin polyurethane paint finish to match Frazee 8714M "Wildcat".

3/8" Aluminum letters and logo with satin painted finish, letters and logo to be pin mounted to panel with 3/8" spacers.

Fabricated aluminum base with line details painted 35% darker than base color (this will simulate reveals on building), base to be painted to match Frazee 8714M "Wildcat"

1/4" Thick aluminum address numbers painted satin black to match existing, numbers to be 7" tall and pin mounted to cabinet.

MONUMENT SIGN TYPE (M1)
(Monument sign may be externally illuminated.)

SIGN TYPE BA Building Address Numerals

Quantity: One (1) per building address.

Materials: Fabricated aluminum reverse pan channel numerals, three (3) inches deep.

Required Height: Fire code requires nine (9) inch high numerals.

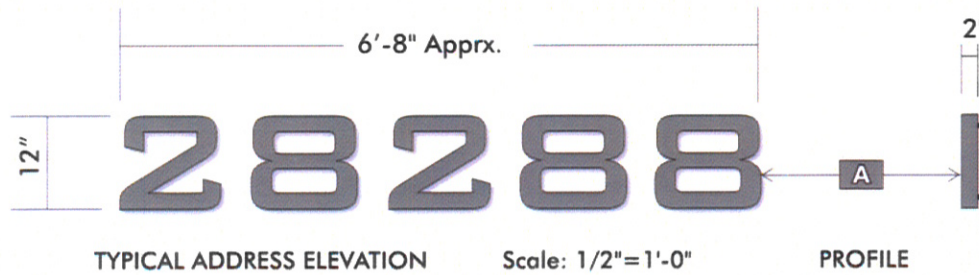
Height Shown: Twelve (12) inches high.

Typeface: Bank Gothic Medium.

Color: To be determined. Must contrast with fascia color.

Illumination: Non-illuminated.

Installation: Pin-mounted one half (1/2) inch off fascia using concealed non-corrosive fasteners.



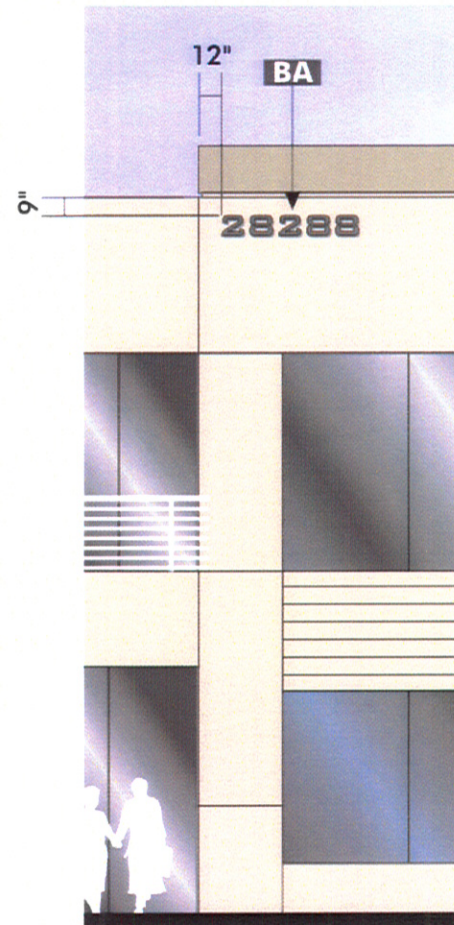
ADDRESSES (QTY. 1 EA).

BUILDING 'B'	BUILDING 'C'
28294	28312
28296	28314
28298	28316
28300	28318
28302	28320
28304	28322
28306	28324
28308	28326
28310	28328

PROJECT COLORS

All paint finishes to be smooth semi-gloss enamel

- A** Frazee 8595D "Elmcourt"
- B** Frazee 8814M "Brindell"
- C** Frazee 8812W "Deville"
- D** Frazee 8700W "Powdering Snow"
- E** Frazee 8714M "Wildcat"
- F** Frazee 8232W "Lulled Beige"
- M1** Brushed aluminum (horizontal grain)



TYP. BLDG. ELEVATION @ ADDRESS



10980 BOATMAN AVENUE
STANTON, CA. 90680
PHONE 714/761-8200
FAX 714/761-2451
www.signsandservicesco.com

These drawings are for the sole purpose of expressing visual design intent and are not intended for actual fabrication purposes. Sign contractor accepts total responsibility for materials selection, fabrication and installation.

DATE: 09-03-04

- 1. 09-09-04
- 2. 09-16-04

LATEST REVISION:

Revised on 4/10/06 by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

**DISCOVERY
GATEWAY
SPECTRUM I**

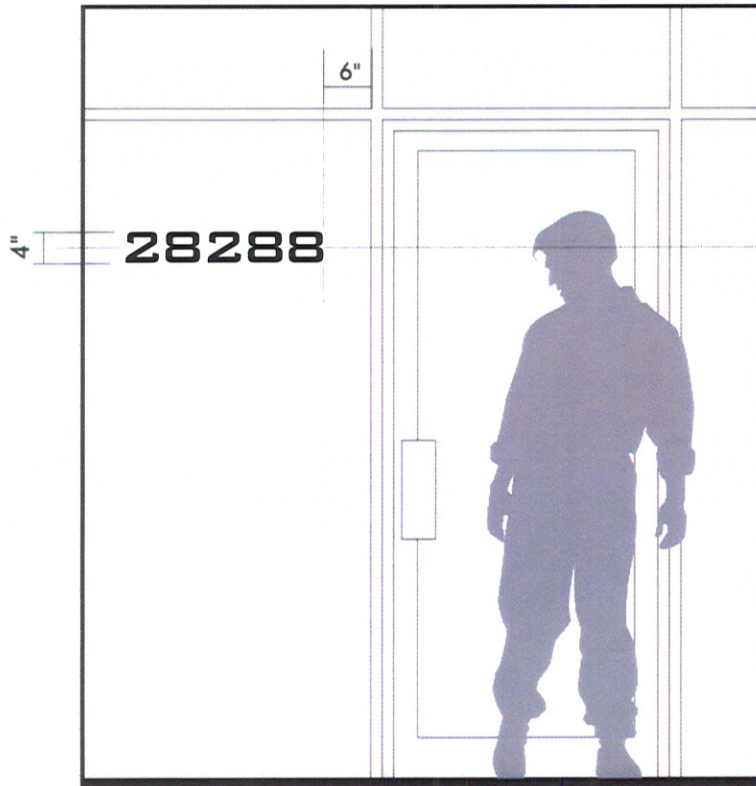
28294-28328
Constellation Rd
Santa Clarita, CA
Exhibit C
**Building
Addresses**

SIGN TYPE FA Front Door Address

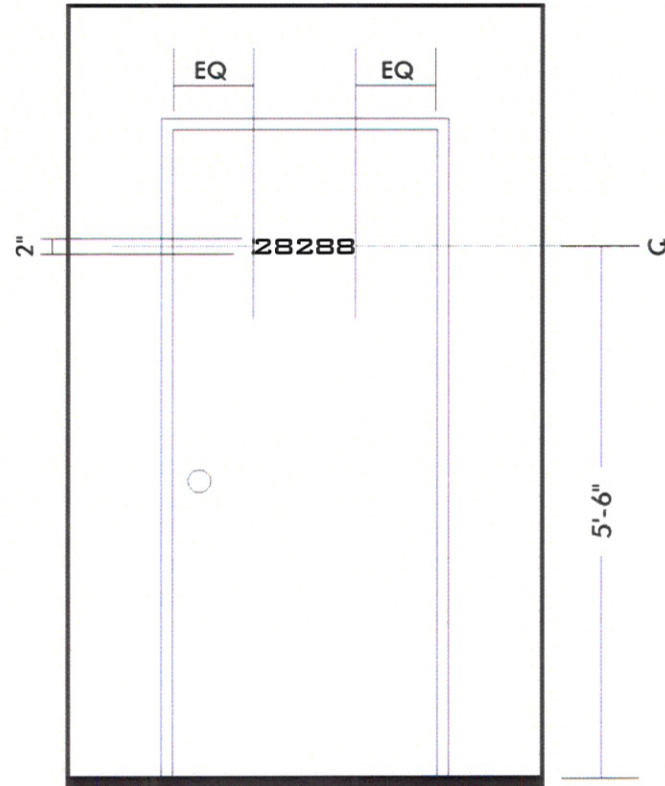
- Quantity: One (1) per front entrance.
- Materials: White high-performance vinyl.
- Height: Four (4) inches.
- Typeface: Bank Gothic Medium.
- Installation: Applied to exterior of glass.

SIGN TYPE RA Rear Door Address

- Quantity: One (1) per rear entrance.
- Materials: Black high-performance vinyl.
- Height: Two (2) inches.
- Typeface: Bank Gothic Medium.
- Installation: Applied to door.



TYPICAL FRONT DOOR ELEVATION



TYPICAL REAR DOOR ELEVATION



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DATE: 09-03-04

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LATEST REVISION:

Revised on 4/10/06 by:



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Valencia, California
91355
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Tel: 661.295.0624
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**DISCOVERY
GATEWAY
SPECTRUM I**

28294-28328
Constellation Rd
Santa Clarita, CA
Exhibit D

Door
Addresses