



City of
SANTA CLARITA

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www.santa-clarita.com

CITY OF SANTA CLARITA
Master Case Number 09-026
Sign Review 09-002
Sign Program for the Discovery Gateway Spectrum II
Per Code Section 17.19
of the Unified Development Code

Date: March 24, 2009

Applicant: Discovery Gateway Spectrum II
28338-28368 Constellation Road
Santa Clarita, CA 91355

Request: The applicant is requesting approval of a master sign program for the monument and on-site signs for the Discovery Gateway Spectrum II. The project site is located in the Business Park (BP) zone at 28338-28368 Constellation Road, in the City of Santa Clarita.

Findings: The Community Development Department has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this sign review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL

GENERAL

- GC1. The approval of this project shall expire if the approved use is not commenced within one (1) year from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code (UDC).
- GC2. To the extent the use approved with this project is a different use than previously approved for the property, the prior approval shall be terminated along with any associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any



discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The pre-existing legal use shall not be re-established or resumed after the one hundred eight (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.

- GC3. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.
- GC4. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attach, set aside, void, or annul the approval of this Project by the City, which action is provided for in Government Code Section 66499.37. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this Condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) The City bears its own attorneys' fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC5. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC6. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC7. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC8. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must be returned to the Planning Division before approval is granted.
- GC9. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. The applicant is granted approval for the proposed master sign program for the Discovery Gateway Spectrum II, subject to the following conditions of approval and the attached Sign Program. Any changes or modifications to the proposed sign program shall be subject to the review and approval of the Director of Community Development.
- PL2. The project shall be developed in substantial conformance with the approved sign program (Attachment A) on file with the Planning Division. Any changes shall be subject to the review and approval of the Director of Community Development.
- PL3. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
- PL4. The signs shall not be located in such a manner as to impede traffic or sight visibility.
- PL5. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
- PL6. This approval must be used within one (1) year from the date of issuance. This approval shall be considered null and void if not acted upon by March 24, 2010.

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

Sincerely,



Raymond Barragan
Assistant Planner I

Project Information:

Discovery Gateway Spectrum II
28338-28368 Constellation Road
Valencia, California
91355
Thomas Guide: Page 4460 / D-5

Property Owner:

Discovery Gateway Spectrum II Owners Association
c/o Vanguard Management
Contact: Judy Saylor
28245 Avenue Crocker, Suite 103
Valencia, CA
91355
T. 661.775.9400
jsaylor@vanguardmanagement.com

Signage Consultant

Image Factor, Inc.
Contact: Cary Llewelyn
29005 Avenue Penn
Valencia, California
91355
T. 661.295.0624
E. cary@imagefactor.com



DISCOVERY GATEWAY SPECTRUM

PLANNED SIGN PROGRAM

REVISED 1/15/09

MAR 27 2009



Res MC09-26

TABLE OF CONTENTS

Cover Sheet Page 1

Table of Contents 2

Purpose and Intent 3

Maintenance 3

Approvals 3

Uncertainty of Sign Standards 3

Compliance Requirement 3

Owner's Responsibility Upon Vacating Their Unit 3

Project Site Plan 4

Project Elevations with Sign Locations 5

Project Photos with Sign Locations 6

On Building Business Identification Specs. 7

Storefront glass Identification Specs. 8

Rear Warehouse Door Identification Specs. 9

APPROVED SIGN COMPANIES FOR THIS PROJECT

Signs By Tomorrow

28302 Constellation Road
Santa Clarita, CA
91355

Contact: Rod or Becky Hargrave
Tel: 661.295.3925
Fax: 661.295.1643
Email: santaclarita@signsbytomorrow.com

Image Factor, Inc.

29005 Avenue Penn
Valencia, CA
91355

Contact: Cary Llewelyn
Tel: 661.295.0624
Fax: 661.295.0628
Email: cary@imagefactor.com

TABLE OF CONTENTS

Discovery Gateway Spectrum II
28338-28368 Constellation Road
Valencia, CA
91355

Date

Revised 11/2/08

Scale

N/A

Drawn by

Cary Llewelyn



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PURPOSE AND INTENT

The purpose of this planned sign program is to ensure that all tenant signage reflects the high end feel of this project, all dimensions, materials and finishes must match the specifications set forth in this planned sign program.

MAINTENANCE

All signs within "Discovery Gateway Spectrum II" shall be maintained in an as-new condition, Inspections of all signs on site will be made periodically, any deficiencies shall be immediately corrected by the party responsible for said sign. If the party responsible (the condominium owner) does not have the sign repaired within (10) days, the association has the right to hire a sign contractor to make the repairs, the cost of the repairs will be back charged to the party responsible (the condominium owner).

APPROVALS (1st) Association, (2nd) City of Santa Clarita

All tenant signage must have written approval from the Association prior to submitting any drawings to the city:

(1) For Association Approval: submit drawings via email to: "jsaylor@vanguardmanagement.com".

All drawings must be in PDF format and include the following:

- (a) Cover Sheet** with all tenant and sign company information including: Business name, contact person, address, telephone number, fax number and email address.
- (b) Site Plan** showing proposed sign location, site plan must also include direction of North, surrounding streets and overall building dimensions (standard project site plan can be obtained from the association in pdf format).
- (c) Building Elevation** showing sign location, sign dimensions, square feet of sign area and dimensions of storefront (standard elevations can be obtained from the landlord in pdf format or you can use a digital picture of the storefront as long as it is to scale).
- (d) Sign Specifications** including fabrication notes, materials, finishes and colors.
- (e) Section View** showing fabrication and attachment details.

(2) For City of Santa Clarita Approval: Submit (3) copies of the drawings as approved by the association to the City of Santa Clarita's Department of Economic Development. After you have received planning approval, proceed to the Building & Safety counter (located in the same building) to obtain sign / building permits. The Building and Safety Department will require the following:

- (a) 2 Sets of stamped drawings** showing planning has approved everything as shown
- (b) State Contractors License**
- (c) Workers Compensation Insurance**

UNCERTAINTY OF SIGN STANDARDS

If a situation arises that is not covered by these sign standards or if there is ambiguity, the sign applicant is referred to the association for clarification and determination, the association will approve signing that best meets the intent of the project.

COMPLIANCE REQUIREMENT

No person shall erect, reerect, construct, enlarge, move, improve, convert or equip any sign or sign structure, or cause or permit the same to be done contrary to or in violation of any of the provisions of this Planned Sign Program. Conformance will be strictly enforced by the Association and the City of Santa Clarita. All such non conforming or unapproved sign(s) must be brought into conformance at the expense of the person(s) responsible for the sign(s) "the condominium owner".

OWNER'S RESPONSIBILITY UPON VACATING THEIR UNIT

Upon vacating the unit, all owners will be responsible for the removal of their sign, patching of all holes and painting of the entire colored panel, when completed, this work will be inspected by the association, if the association feels the work is not up to par, the owner of the unit will be responsible to make all corrections until it is approved.

PURPOSE AND INTENT, MAINTENANCE, APPROVALS, UNCERTAINTY OF SIGN STANDARDS & COMPLIANCE REQUIREMENTS, RESPONSIBILITY

Discovery Gateway Spectrum II
28338-28368 Constellation Road
Valencia, CA
91355

Date

11/29/08

Scale

N/A

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Valencia, California

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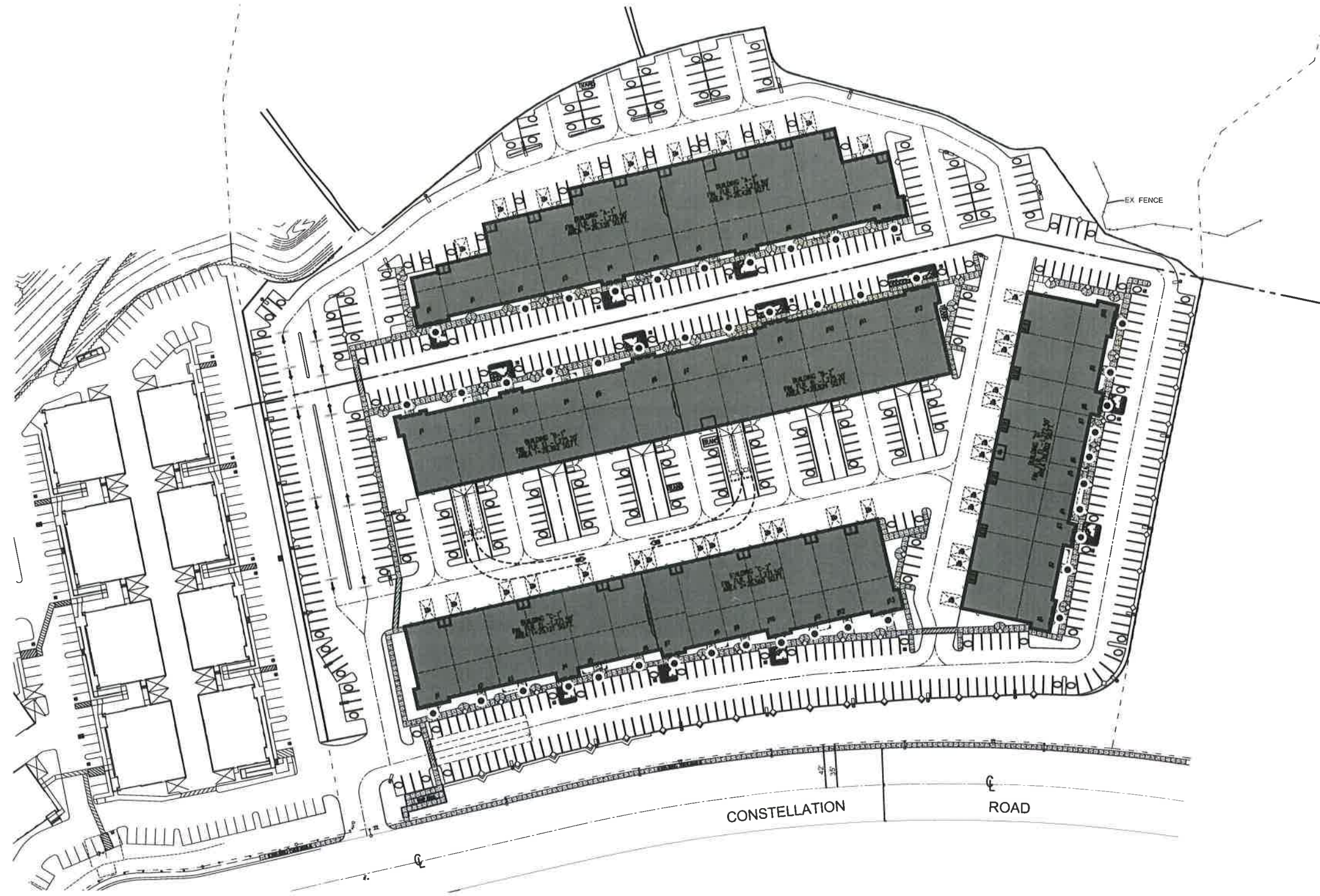
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● On Building Business Identification Signs



PROJECT SITE PLAN

Discovery Gateway Spectrum II
 28338-28368 Constellation Road
 Valencia, CA
 91355

Date

5/22/08

Scale

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PROJECT ELEVATIONS WITH SIGN LOCATIONS

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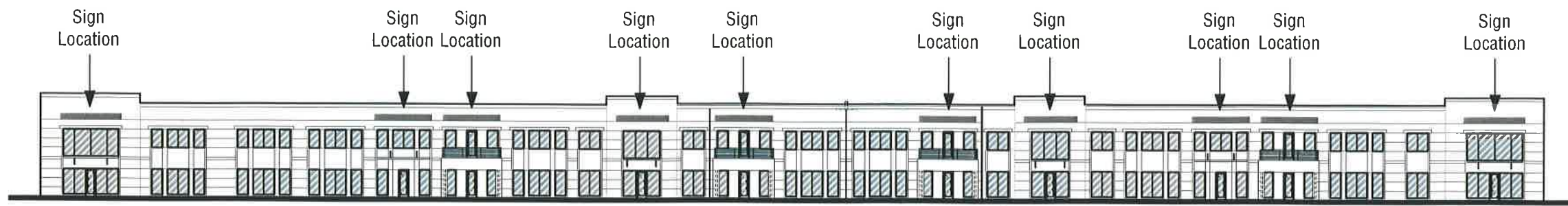
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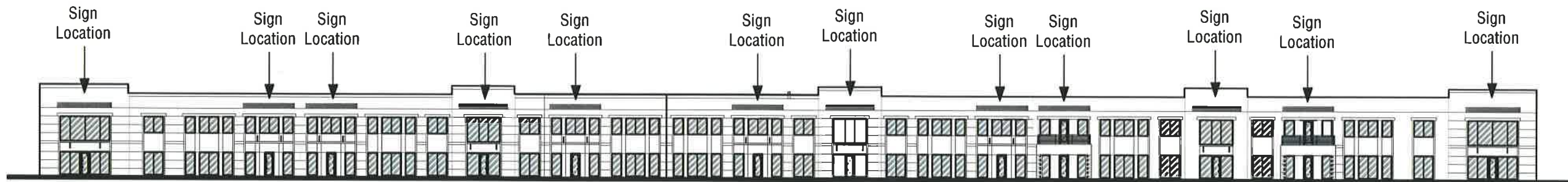
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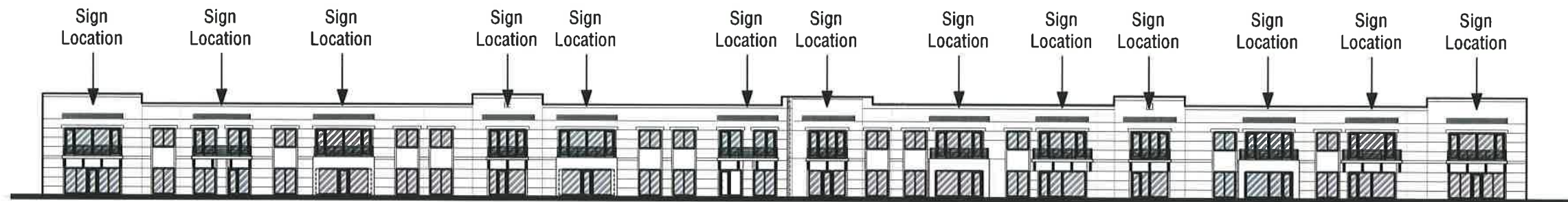
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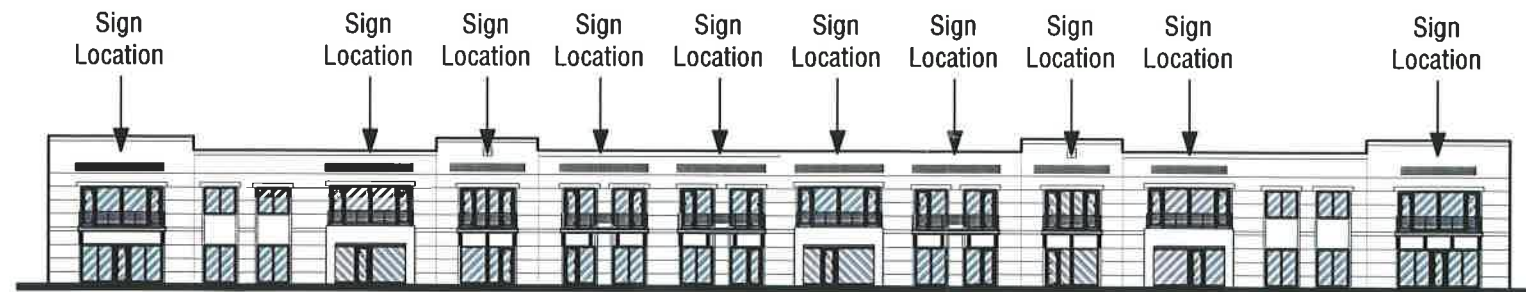
BUILDING A / WEST ELEVATION



BUILDING B / EAST ELEVATION



BUILDING C / WEST ELEVATION



BUILDING D / SOUTH ELEVATION

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SIGNAGE REQUIREMENTS / NOTES

- (A) No sign shall be wider than 75% of the colored section or elevated building panel it is attached to.
- (B) No sign shall exceed 60 square feet.
- (C) All businesses will be allowed (1) On Building Business Identification Sign.
- (D) All On Building Business Identification Signs shall list the company / corporate name only. Tag lines, phone numbers and or web site addresses will not be allowed.
- (E) All materials must match the building standard.
- (F) All signage must be pin mounted with no visible fasteners
- (G) All owners will be responsible for the removal of their sign, patching of the holes and painting of the entire colored panel upon vacating their unit.

ON BUILDING BUSINESS IDENTIFICATION SPECS.

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28338-28368 Constellation Road
Valencia, CA
91355

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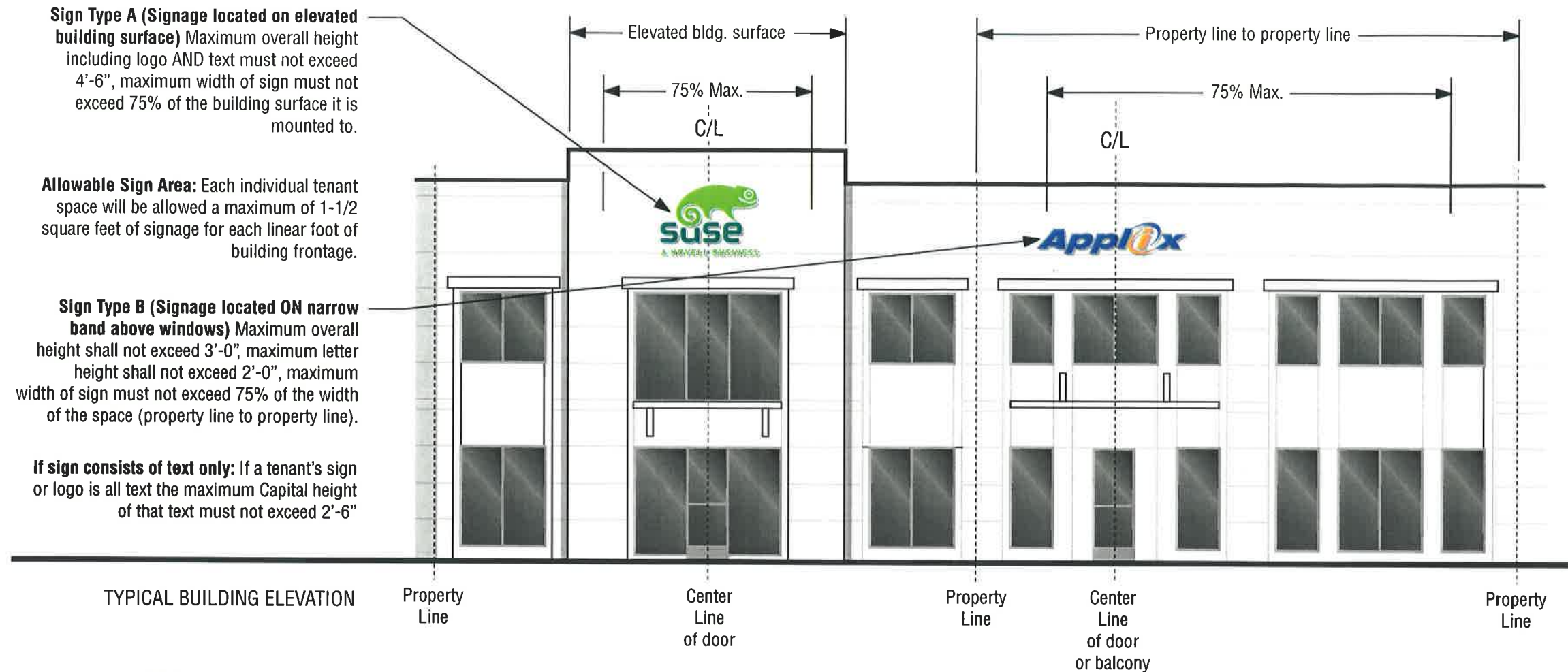
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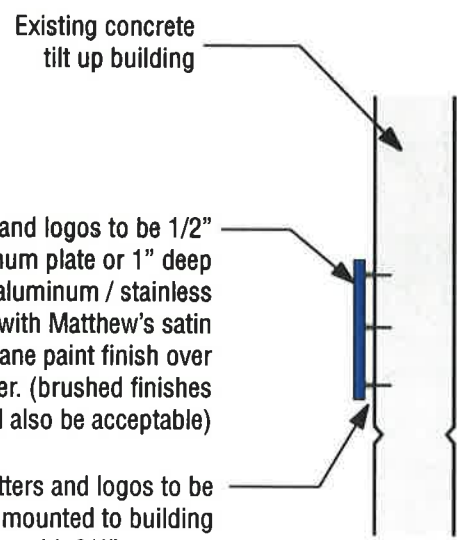
Sign Type A (Signage located on elevated building surface) Maximum overall height including logo AND text must not exceed 4'-6", maximum width of sign must not exceed 75% of the building surface it is mounted to.

Allowable Sign Area: Each individual tenant space will be allowed a maximum of 1-1/2 square feet of signage for each linear foot of building frontage.

Sign Type B (Signage located ON narrow band above windows) Maximum overall height shall not exceed 3'-0", maximum letter height shall not exceed 2'-0", maximum width of sign must not exceed 75% of the width of the space (property line to property line).

If sign consists of text only: If a tenant's sign or logo is all text the maximum Capital height of that text must not exceed 2'-6"

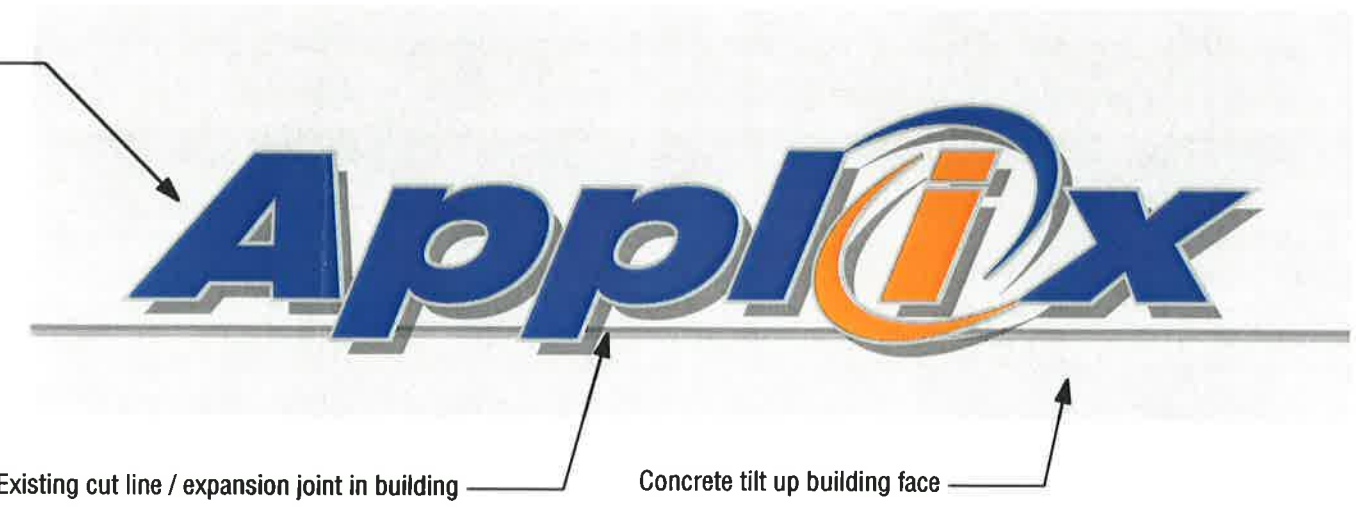
TYPICAL BUILDING ELEVATION



SECTION VIEW

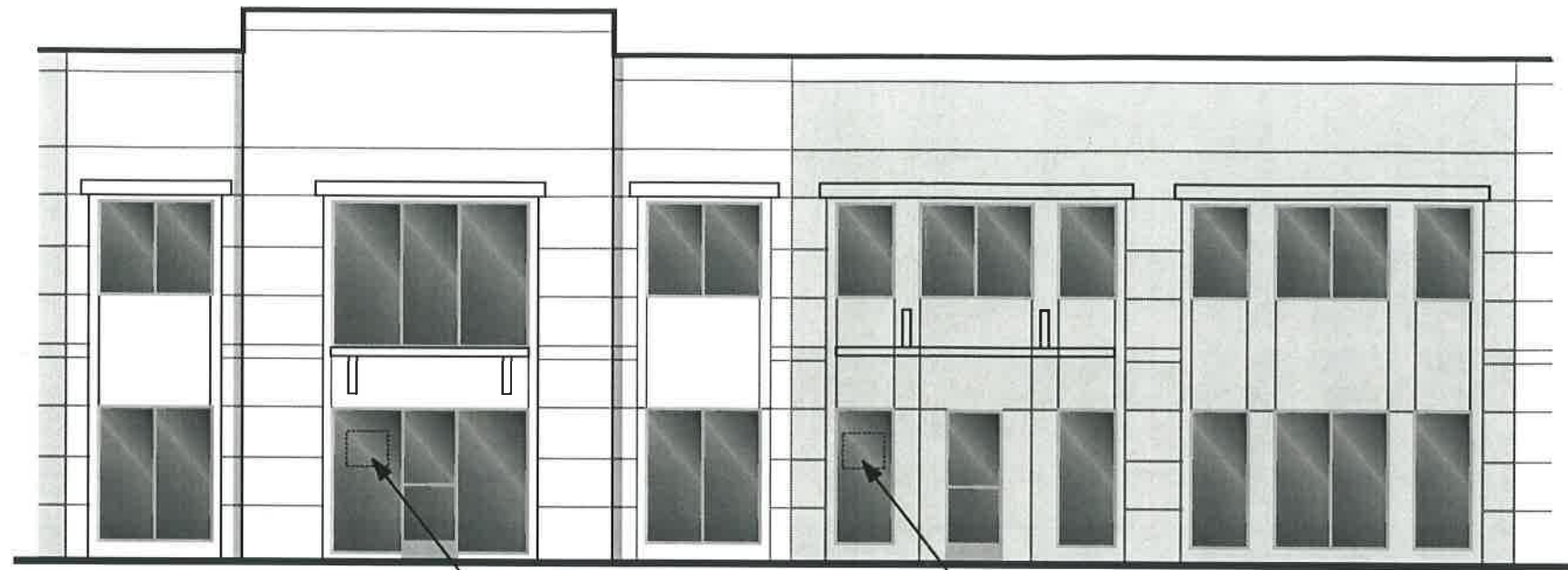
Tenants will be allowed to use their corporate colors and logos but they must be approved by the association, brushed aluminum / stainless steel finishes will also be acceptable

No illuminated nor acrylic signs will be allowed on this project



SIGN SPECIFICATIONS

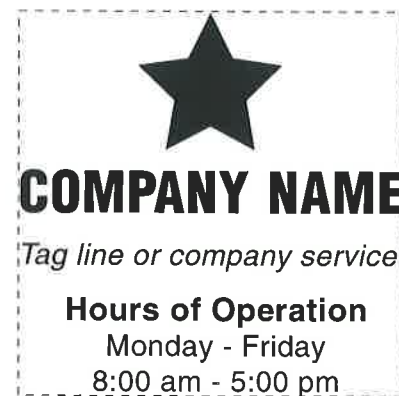
*** The above logos are registered trademarks and are being used as an examples only.



TYPICAL BUILDING ELEVATION

Storefront glass identification

Storefront glass identification



Each unit will be allowed (1) storefront glass identification sign, these signs must not exceed (4) square feet.

Company logos and letter styles will be allowed for this type of signage.

All logos and letters must match the color specification listed in the original CCR's

STOREFRONT GLASS IDENTIFICATION

STOREFRONT GLASS IDENTIFICATION SPECS.

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Valencia, CA
91355

Date

11/28/08

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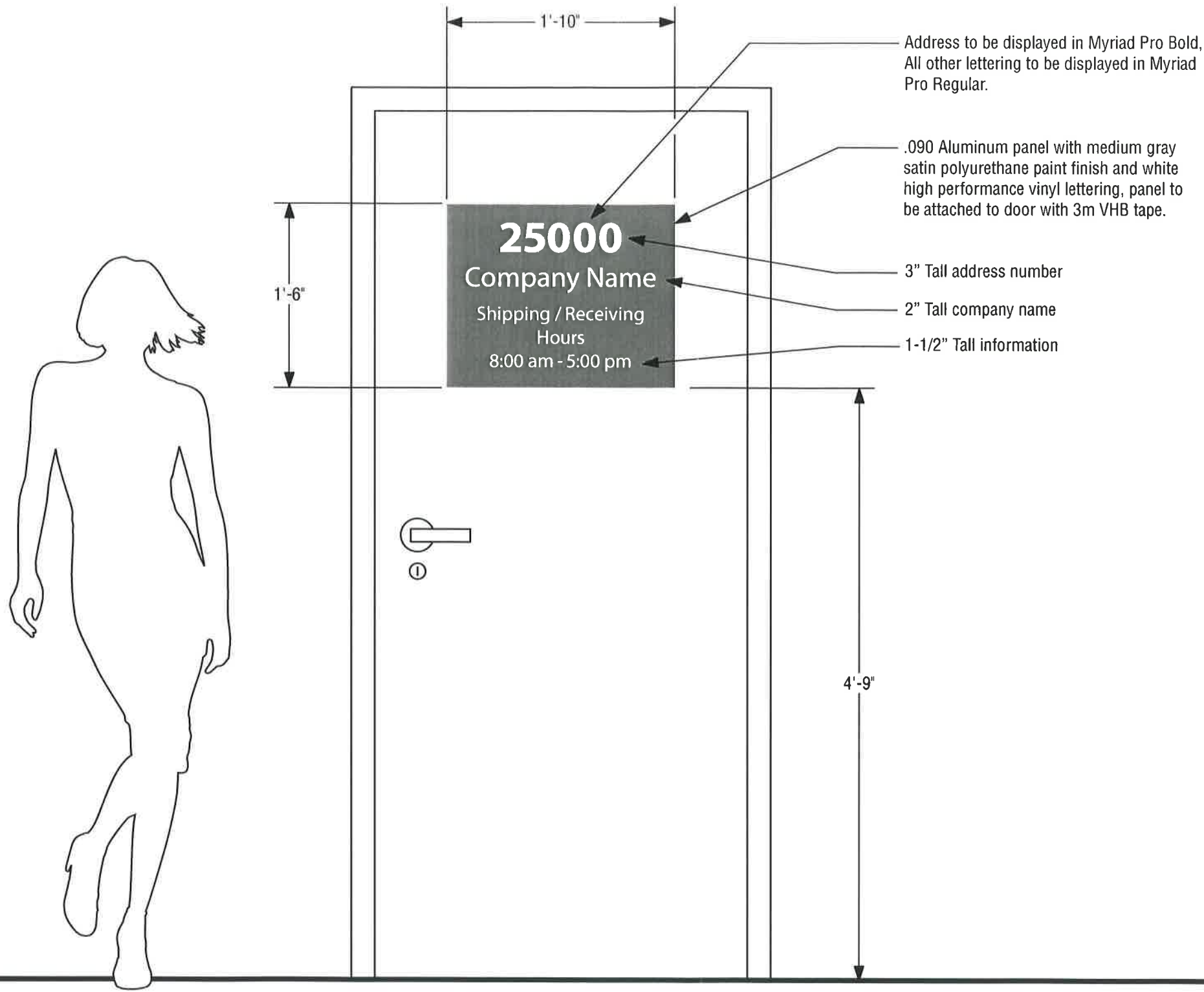
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REAR WAREHOUSE DOOR IDENTIFICATION

REAR WAREHOUSE DOOR IDENTIFICATION SPECS.

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