

CITY OF SANTA CLARITA
Master Case Number 06-136
Sign Review 06-0014
Gateway Plaza Sign Program
Per Code Section 17.19
of the Unified Development Code

- Date: September 12, 2006
- Applicant: Image Factor
Cary Llewelyn
25317 West Avenue Stanford
Santa Clarita, CA 91355
- Request: The applicant is requesting approval of a sign program for Gateway Plaza located at 25350-25360 Magic Mountain Parkway. The project site is zoned BP (Business Park), in the City of Santa Clarita
- Findings: The Community Development Department has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this sign review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL / MITIGATION MEASURES

GENERAL

- GC1. The approval of this project shall expire if not put into use within one (1) year from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code.
- GC2. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than sixty (60) days prior to expiration.
- GC3. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new

engineer, or change in the status of the developer, within 30 days of said change.

- GC4. Unless otherwise apparent from the context, the term “applicant” shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attach, set aside, void, or annul the approval of this Project by the City, which action is provided for in Government Code Section 66499.37. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this Condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) The City bears its own attorneys’ fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC5. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC6. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC7. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC8. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must be returned to the Planning Division before approval is granted.
- GC9. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. The applicant is granted approval for the proposed sign program for Gateway Plaza, subject to the following conditions of approval. Any changes or

modifications to the proposed sign program shall be subject to the review and approval of the Director of Community Development.

Monument Signs

- PL2. The applicant shall have permission to install a total of two (2) monument signs on the project site in accordance with the approved sign program. Monument sign #1 shall be permitted at the entrance along Wayne Mills Place. Monument sign #2 shall be permitted at the entrance along Magic Mountain Parkway, as identified in the approved sign program.
- PL3. The proposed monument signs shall be set back a minimum of one (1) foot from the property line. The area between such street or right-of-way and the monument sign shall be attractively landscaped and maintained to enhance the appearance of such sign. All monument signs shall be developed in accordance with the Gateway Plaza Sign Program (Attachment A), prepared by Image Factor, and the following:
- a. The proposed monument signs identified on the sign program as “Monument sign #1 and #2” shall identify “Gateway Plaza” and four (4) tenants. The monument signs shall not exceed five feet-six (5’-6”) inches in height and shall not exceed eight feet (8’-6”) in width.
 - b. In no event, shall a monument sign be located closer than two hundred fifty (250) feet from any other monument or freestanding sign on the same property or center.
 - c. All monument signs must clearly show the property address with letter sizes not to exceed eight (8) inches in height.

Wall Signage

- PL4. The applicant shall be permitted to install one (1) primary building identification wall sign along the main (west) elevation of the buildings located at 25350 and 25360 Magic Mountain Parkway. The building located at 25350 Magic Mountain Parkway may be permitted one additional building ID wall sign on the north elevation. Ground floor tenants shall be permitted one (1) primary wall sign along the main elevation and up to two (2) secondary wall signs along two (2) other elevations in accordance with the Gateway Plaza sign program and the following:
- a. Building 1 (25350 Magic Mountain Parkway):
 - i. Number: A maximum of one (1) primary building identification sign along west elevation and one (1) secondary building ID wall sign on the north elevation shall be permitted.

- ii. Ground floor tenants shall be permitted one (1) primary wall sign along the main elevation and up to two (2) secondary wall signs along two (2) other elevations to the satisfaction of the Director of Community Development.
- b. Building 2 (25360 Magic Mountain Parkway):
 - i. Number: A maximum of one (1) primary building identification sign along the west elevation shall be permitted.
 - ii. Ground floor tenants shall be permitted one (1) primary wall sign along the main elevation and up to two (2) secondary wall signs along two (2) other elevations to the satisfaction of the Director of Community Development.
- c. The maximum allowable height for text for building identification wall signage shall not exceed thirty inches (30"). The maximum allowable height for ground floor tenant wall signs shall not exceed fourteen inches (14").
- d. Ground floor tenant wall signs shall be located above an exterior tenant entrance as shown on page 9 of the approved sign program.
- e. The maximum square footage permitted for all wall signs is one and a half (1 ½) square feet per linear foot of tenant store frontage. Secondary wall signs, where permitted, shall not exceed half the allowable area of the primary wall sign.
- f. The maximum sign width for all wall signs shall not exceed 75% of the building for building wall signs and 75% of the tenant frontage for the ground floor tenant sign.
- g. No exposed or open neon is allowed.

Other Signing Conditions

- PL5. The project shall be developed in substantial conformance with the approved sign program (Attachment A) on file with the Planning Division. Any changes shall be subject to the review and approval of the Director of Community Development.
- PL6. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
- PL7. The signs shall not be located in such a manner as to impede traffic or sight visibility.

- PL8. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
- PL9. This approval must be used within one (1) year from the date of issuance. This approval shall be considered null and void if not acted upon by September 12, 2007.
- PL10. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this permit. The notarized affidavit then must be returned to the Community Development Department before approval is granted.

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

Sincerely,

James Chow
Assistant Planner II



City of
SANTA CLARITA

23920 Valencia Boulevard • Suite 300 • Santa Clarita, California 91355-2196
Phone: (661) 259-2489 • FAX: (661) 259-8125
www.santa-clarita.com

**CITY OF SANTA CLARITA
MASTER CASE 14-099
SIGN REVIEW PERMIT 14-008
PER CODE SECTION 17.51.080
OF THE UNIFIED DEVELOPMENT CODE**

Date: August 26, 2014

Applicant: Dilbeck Real Estate
Attn: James Bakerink
25360 Magic Mountain Parkway
Santa Clarita, CA 91355

Location: 25360 Magic Mountain Parkway
Santa Clarita, CA 91355

Request: The applicant is requesting approval of a Sign Review Permit to modify the existing sign program for Gateway Plaza located at 25360 Magic Mountain Parkway. The applicant proposes to change the maximum letter height on a "Major Tenant On Building Identification Sign" to four (4) feet and prohibits the sign from protruding past the top of the building. The proposal also includes two (2) new wall signs on the west elevation of the southern building. The signs measure 4' high and 19.5' wide for a total area of 83.65 square feet and 2'-7" high and 14.5' wide for a total area of 37.7 square feet. The subject property is zoned Business Park and located in the Valencia Community of the City of Santa Clarita.

Findings: In granting this approval, the Director of Community Development finds that the required Burden of Proof set forth in Section 17.23.190 of the Santa Clarita Municipal Code has been met by the applicant. The Director further finds that the use is categorically exempt since it meets the criteria set forth in Class 11 of Section 15311 of the California Environmental Quality Act Guidelines. This approval is granted pursuant to the following conditions:



CONDITIONS OF APPROVAL

GENERAL

- GC1. The approval of this project shall be utilized within two (2) years from the date of conditional approval, unless it is extended in accordance with of the City of Santa Unified Development Code.
- GC2. To the extent the use approved with this project is a different use than previously approved for the property, the prior approval shall be terminated along with any associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The pre-existing legal use shall not be re-established or resumed after the one hundred eighty (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.
- GC3. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than 60 days prior to expiration.
- GC4. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.
- GC5. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul the approval of this project, including any related environmental approvals. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the city fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this Condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both the following occur: 1) the City bears its own attorney's fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC6. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.

- GC7. The applicant shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC8. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC9. Details shown on the site plan are not necessarily approved. Any details which are inconsistent with the requirements of state or local ordinances, general conditions of approval, or City policies and not modified by this permit must be specifically approved in writing.
- GC10. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.
- GC11. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must then be returned to the Planning Division.

PLANNING DIVISION

- PL1. The applicant shall be permitted to install the following signs, in accordance with the approved plans on file:
- a) One (1) wall sign measuring 4' high and 19.5' wide, for a total area of 83.65 square feet. The subject sign includes text for "Dilbeck Estates."
 - b) One (1) wall sign measuring 2'-7" high and 14.5' wide, for a total area of 37.7 square feet. The subject sign consists two lines of text to include "Christie's International Real Estate."
- PL2. The applicant shall hereby be permitted to revise the original sign program for Gateway Plaza (Master Case No. 06-136) with the following changes:
- a) Major tenant building identification signs on the buildings shall be permitted the maximum area of one (1-1/2) square feet for each (1) foot of lineal building frontage, with the maximum letter height of 4'-0".
 - b) The sign shall be located at the upper part of the center of both buildings, but not within 1'-0" of the edge of the building nor protrude past the top of the building.
- PL3. All signage shall only be channel letters internally illuminated.
- PL4. Exposed conduits and raceways shall be prohibited.
- PL5. No exposed or open neon is allowed.

- PL6. The sign shall not be located in such a manner as to impede traffic or sight visibility.
- PL7. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above. The applicant shall comply with all standards all other affected divisions of the City and all other affected agencies.
- PL8. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
- PL9. The applicant shall obtain all necessary building permits from the Building and Safety Division.

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

Sincerely,

A handwritten signature in black ink, appearing to read "Cynthia Campaña". The signature is fluid and cursive, with the first name being the most prominent.

Cynthia Campaña
Planning Technician

Project Location:

Thomas Guide Page 4550, Grid C-2
Gateway Plaza
25350-25360 Magic Mountain Parkway
Valencia, CA
91355

Governing Agency:

Newhall Land
Architectural Review Committee (ARC)
Contact: Marian Miller
23823 Valencia Boulevard
Valencia, CA
91355
Tel: 661.255.4441

Owner:

Tourney Road Investors, LLC
Contact: Thomas Von Der Ahe Jr.
4605 Lankershim Blvd.
Suite 707
North Hollywood, CA
91602
Tel: 818.980.9191

City Planning Department:

City of Santa Clarita Planning Division
23920 Valencia Boulevard
Suite 300
Valencia, CA
91355
Tel: 661.255.4330

Architect:

KKE Architects, Inc.
35 East Colorado Blvd.
Pasadena, CA
91105
Tel: 626.796.8230

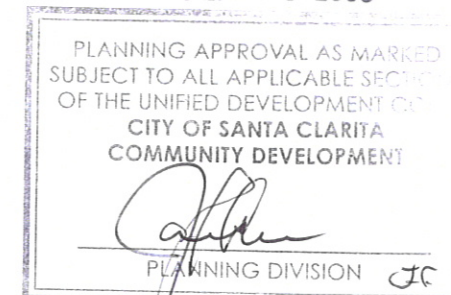
Signage Consultant:

Image Factor, Inc.
25317 West Avenue Stanford
Valencia, CA
91355
Tel: 661.295.0624
Email: cary@imagefactor.com



Revised August 22, 2006

SEP 13 2006



- Approval for sign program subject to MC#06-136

GATEWAY PLAZA
25350 & 25360
Magic Mountain Parkway
Valencia, California
91355

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

**TOURNEY ROAD
INVESTORS, LLC.**

4605 Lankershim Blvd.
Suite 707
North Hollywood, CA
91602

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355

Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

TABLE OF CONTENTS

TABLE OF CONTENTS

Table of Contents	Page 1
Purpose and Intent	2
Maintenance	2
Approvals	3
Uncertainty of Sign Standards	3
Compliance Requirement	4
Design Criteria	4
General Sign Standards	4
Sign Descriptions	5-6
Project Plot Plan	7
Tenant Monument Signs	8
Major / Ground Floor Tenant On Building Identification Signs	9-10
Ground Floor Tenant Information Sign on Storefront Glass	11

GATEWAY PLAZA

25350 & 25360
Magic Mountain Parkway
Valencia, California
91355

PURPOSE AND INTENT

The purpose of this Planned Sign Program is to provide for adequate and aesthetically pleasing On-Building and Ground Mounted Signage in conformance with the provisions set forth in the sign program for the Gateway Plaza.

The intent of this Planned Sign Program is to produce uniform standards for all signage required by the Gateway Plaza project.

MAINTENANCE

All signs within the Gateway Plaza shall be maintained in an as-new condition in accordance with the CC&R's for the project. Inspections of all signs on site will be made periodically. Any deficiencies shall be immediately corrected by the party responsible for said signs.

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

4605 Lankershim Blvd.
Suite 707
North Hollywood, CA
91602

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355

Contact: Cary Llewelyn

Tel: 661.295.0624

email: cary@imagefactor.com

**PURPOSE AND INTENT
MAINTENANCE**

GATEWAY PLAZA

25350 & 25360
Magic Mountain Parkway
Valencia, California
91355

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

4605 Lankershim Blvd.
Suite 707
North Hollywood, CA
91602

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355

Contact: Cary Llewelyn

Tel: 661.295.0624

email: cary@imagefactor.com

APPROVALS

UNCERTAINTY OF SIGN
STANDARDS

APPROVALS

All signage must have written approval from the owner "Tourney Road Investors, LLC." and the Newhall Land Architectural Review Committee (ARC) Prior to City review, eligible sign applicants shall first obtain the approval from the owner "Tourney Road Investors, LLC." and then Newhall Land (ARC) by submitting the following:

- (1) Submit in triplicate the following to the owner "Tourney Road Investors, LLC." and then to Newhall Land (ARC).
 - (a) Site plan and building elevation showing proposed sign locations and dimensions.
 - (b) Proposed materials, finishes, colors and illumination type if illuminated.
 - (c) Section view showing fabrication and attachment details
- (2) For city approval, submit (in triplicate) drawings as approved by the owner "Tourney Road Investors, LLC." & Newhall Land (ARC) to the City of Santa Clarita Planning Department, after planning approval proceed to the Building Department to obtain sign permits, these drawings should include the following:
 - (a) Site plan and building elevation showing proposed sign locations and dimensions.
 - (b) Proposed material, finishes, colors and illumination type if illuminated.
 - (c) Section view showing fabrication and attachment details.
 - (d) Monument signs will need to include engineering done by a civil engineer that is licensed in the State of California

UNCERTAINTY OF SIGN STANDARDS

If a situation arises that is not covered by these sign standards or there is ambiguity, the sign applicant is referred to the owner "Tourney Road Investors, LLC.", the Newhall Land Architectural Review Committee and the City of Santa Clarita Planning Department for clarification and determination. The owner, Newhall Land (ARC) and the City of Santa Clarita Planning Department together will then approve signing that best meets the intent of the Planned Sign Program.

GATEWAY PLAZA

25350 & 25360
Magic Mountain Parkway
Valencia, California
91355

COMPLIANCE REQUIREMENT

No person shall erect, reerect, construct, enlarge, move, improve, convert or equip any sign or structure, or cause or permit the same to be done contrary to or in violation of any of the provisions of this Planned Sign Program. Conformance will be strictly enforced by the owner "Tourney Road Investors, LLC.", the CC&R's and The City of Santa Clarita. All such non conforming or unapproved sign(s) must be brought into conformance at the expense of the person(s) responsible of said sign(s).

DESIGN CRITERIA & GENERAL SIGN STANDARDS

- (1) Sign area is defined as the entire area within a perimeter defined by a continuous line composed of right angles which encloses the extreme outer limits of lettering, logo or trademarks together with any frame or structural trim forming a part of the display used to differentiate the sign from the background against which it is placed.
- (2) The location of the (2) ground mounted monument signs shall conform to The City of Santa Clarita's site distance triangle. Please note there will only be (2) monument signs allowed on this project.
- (3) All paint on aluminum or acrylic shall be Matthews satin polyurethane over epoxy primer.
- (4) All signs attached to the building shall be formed by individual letters and shall be surface mounted. No "cabinet/box signs", foam letters or signs painted directly on the building will be permitted. All on-building signs shall be mounted directly onto the building surface. No "raceways" or other visible means of attachment may be used.
- (5) All Monument and On Building Identification signs must be illuminated, these types of signs may be internally or externally illuminated. All lighting techniques and fixtures must be submitted to the owner "Tourney Road Investors, LLC.", the Newhall Land (ARC) and the City of Santa Clarita for approval. There will be no flashing, moving or audible signs allowed on this project
- (6) All attachment hardware shall be stainless steel to preclude rust staining of architectural surfaces and to permit ease of future removal and servicing.

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

4605 Lankershim Blvd.
Suite 707
North Hollywood, CA
91602

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

COMPLIANCE REQUIREMENT

DESIGN CRITERIA & GENERAL
SIGN STANDARDS

GATEWAY PLAZA

25350 & 25360
Magic Mountain Parkway
Valencia, California
91355

SIGN DESCRIPTIONS

Project / Tenant Monument Signs

This type of sign is provided for ground mounted project/tenant identification. This sign type shall conform to all the specs shown on the exhibit with the following additional specifics: these signs shall have a fabricated aluminum cabinet mounted on top of a masonry base/footing. Monument sign footings and engineering shall be the responsibility of the sign contractor and a structural engineer licensed in the State of California. Signs must be set back far enough from the street/curb so they do not block street or driveway traffic. Only (2) Monument signs will be permitted for the entire "Gateway Plaza" project (see site plan).

Major Tenant "On Building Identification Signs" (Primary Tenant)

These signs are provided for Major Tenant On-Building Identification. The copy shall be limited to company name/logo. This sign type must be internally illuminated and fabricated from aluminum. Paint finish shall be satin polyurethane. Color of signs will be subject to the approval of the owner "Tourney Road Investors, LLC.", the Newhall Land (ARC) and the City of Santa Clarita Planning Dept. There will be no foam or painted on building signs allowed. All signs must have a minimum depth of 3" and a maximum depth of 8". There will be no visible raceways allowed.

This sign type shall occur at the upper part of the building but not within 1'-0" of the edge of the building **nor protrude past the top of the building**

The maximum area for a Major Tenant On Building Identification Sign is one (1-1/2) square feet for each (1) foot of lineal building frontage with a maximum of 35'-0" in length, the maximum letter height allowable will be 4'-0".

In the event a tenant name is combined with a logo or symbol it may be allowed but must be approved by the Owner "Tourney Road Investors, LLC.", Newhall Land (ARC) and the City of Santa Clarita Planning Dept.

Ground Floor Tenant "On Building Identification Signs"

These signs are provided for Ground Floor Tenant On-Building Identification. The copy shall be limited to company name/logo. This sign type must be internally illuminated and fabricated from aluminum. Paint finish shall be satin polyurethane. Color of signs will be subject to the approval of the owner "Tourney Road Investors, LLC.", the Newhall Land (ARC) and the City of Santa Clarita Planning Dept. There will be no foam or painted on building signs allowed. All signs must have a minimum depth of 3" and a maximum depth of 8". There will be no visible raceways allowed.

Please note that ground floor tenants must have their own exterior public entrance to be allowed an "On-Building Identification Sign".

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

4605 Lankershim Blvd.
Suite 707
North Hollywood, CA
91602

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355

Contact: Cary Llewelyn

Tel: 661.295.0624

email: cary@imagefactor.com

SIGN DESCRIPTIONS

Project Monument Sign

Major Tenant On Building
Identification Signs

GATEWAY PLAZA
25350 & 25360
Magic Mountain Parkway
Valencia, California
91355

Building Addresses

Each Building will have a minimum of one address located at the parapet level of the building. Numerals shall be a minimum of 18" tall x 3" deep, actual height will be determined by Los Angeles County Fire Dept. depending on visibility. Address numerals shall be fabricated out of aluminum with internal illumination (reverse channel type) and painted to match building in a contrasting color, paint finish to be satin polyurethane.

Identification Signs at Man Doors

This sign type is provided for identification of tenant for shipping, receiving, employees and emergency services, this sign will be limited to tenant address, company name and one line of copy that states what that entrance is intended for i.e., shipping, receiving, will call etc. This sign will be made of 1/8" aluminum plate with polyurethane painted finish and 2 mil high performance vinyl graphics. Panel size would be 16" square.

Ground Floor Tenant Information Sign on Storefront Glass

Each tenant will be allowed (1) Tenant Information Sign on their front window adjacent to entry door. Graphics will be limited to white high performance self-adhesive vinyl. The maximum area of this sign will be 2-1/2 Sq.Ft. Maximum width and height is 24". Lettering shall not exceed 2" in height and logos shall not exceed 10" in height. Supportive text shall be limited to 1" tall lettering set in legend form. The graphics shall be centered vertically at 60" and must be at least 4" from any edge of glass.

Building/Suite Address on Storefront Glass above Entry

Each tenant space with an exterior door must have a minimum of (1) address located above the entrance, these address numbers must be computer cut vinyl mounted to the face of the glass, addresses numbers must be white or silver with a 3/8" black outline, all vinyl to be 3M 2 mil high performance.

EXHIBITS

The exhibits following this text are included to aid in interpreting the intent of this Planned Sign Program. Together the text and exhibits describe the number, size, location, colors and types of materials permitted for signs at Gateway Plaza.

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

4605 Lankershim Blvd.
Suite 707
North Hollywood, CA
91602

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355

Contact: Cary Llewelyn

Tel: 661.295.0624

email: cary@imagefactor.com

SIGN DESCRIPTIONS

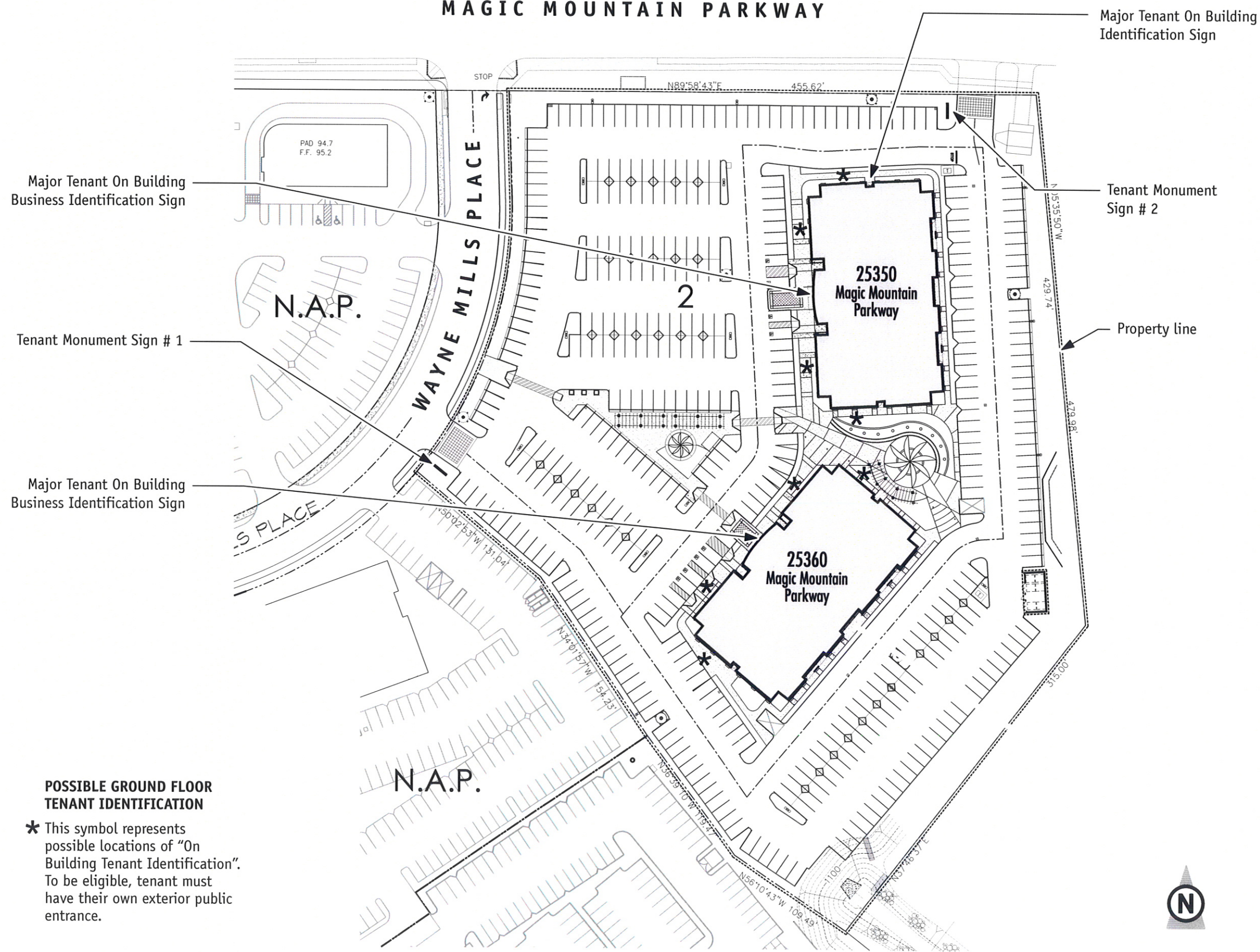
Building Addresses

Identification Signs at Man Doors

Identification Signs at Entry Window Glass

Tenant Address on Storefront Glass

MAGIC MOUNTAIN PARKWAY



GATEWAY PLAZA
 25350 & 25360
 Magic Mountain Parkway
 Valencia, California
 91355

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

4605 Lankershim Blvd.
 Suite 707
 North Hollywood, CA
 91602

Prepared by:



25317 West Avenue Stanford
 Valencia, California
 91355
 Contact: Cary Llewelyn
 Tel: 661.295.0624
 email: cary@imagefactor.com

PROJECT SITE PLAN

Major Tenant On Building Business Identification Sign

Major Tenant On Building Identification Sign

Tenant Monument Sign # 2

Property line

Tenant Monument Sign # 1

Major Tenant On Building Business Identification Sign

POSSIBLE GROUND FLOOR TENANT IDENTIFICATION

* This symbol represents possible locations of "On Building Tenant Identification". To be eligible, tenant must have their own exterior public entrance.

GATEWAY PLAZA

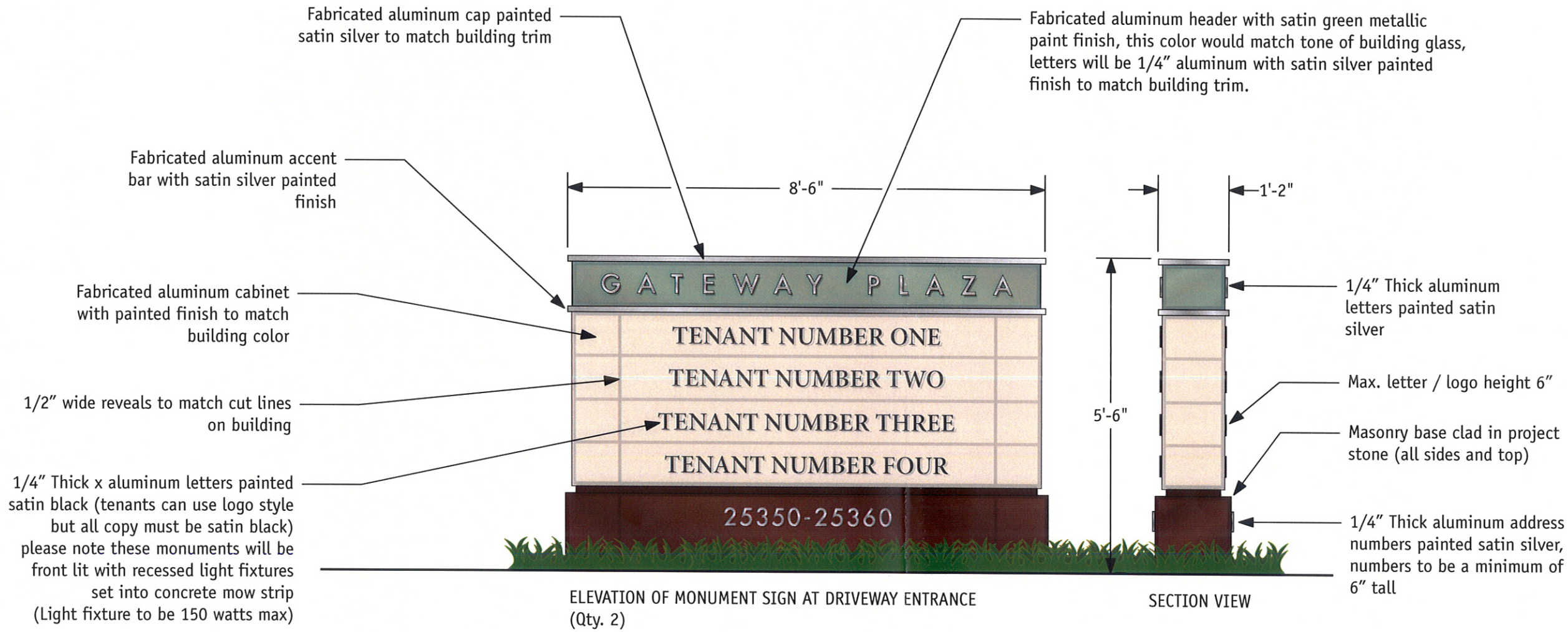
25350 & 25360
 Magic Mountain Parkway
 Valencia, California
 91355

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:
TOURNEY ROAD INVESTORS, LLC.
 4605 Lankershim Blvd.
 Suite 707
 North Hollywood, CA
 91602

Prepared by:
 **IMAGE FACTOR**
 25317 West Avenue Stanford
 Valencia, California
 91355
 Contact: Cary Llewelyn
 Tel: 661.295.0624
 email: cary@imagefactor.com



ELEVATION OF MONUMENT SIGN AT DRIVEWAY ENTRANCE
 (Qty. 2)

SECTION VIEW

TENANT MONUMENT SIGNS

GATEWAY PLAZA

25350 & 25360
 Magic Mountain Parkway
 Valencia, California
 91355

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

4605 Lankershim Blvd.
 Suite 707
 North Hollywood, CA
 91602

Prepared by:



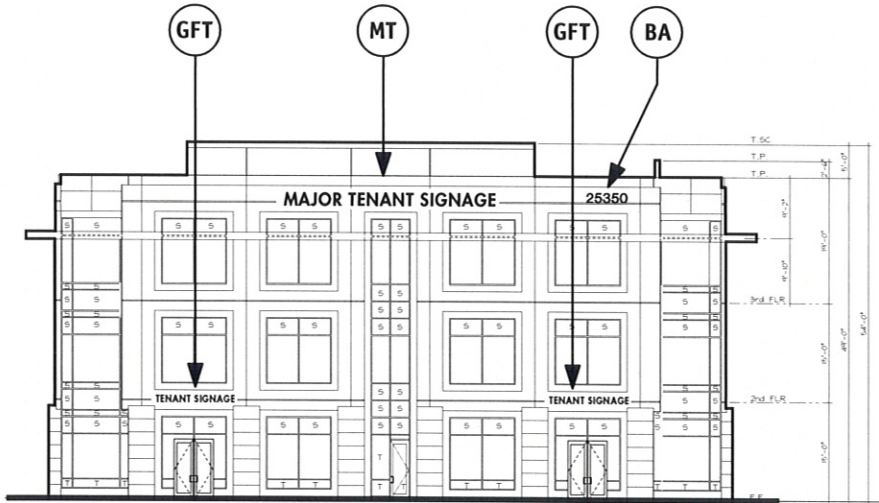
25317 West Avenue Stanford
 Valencia, California
 91355

Contact: Cary Llewelyn

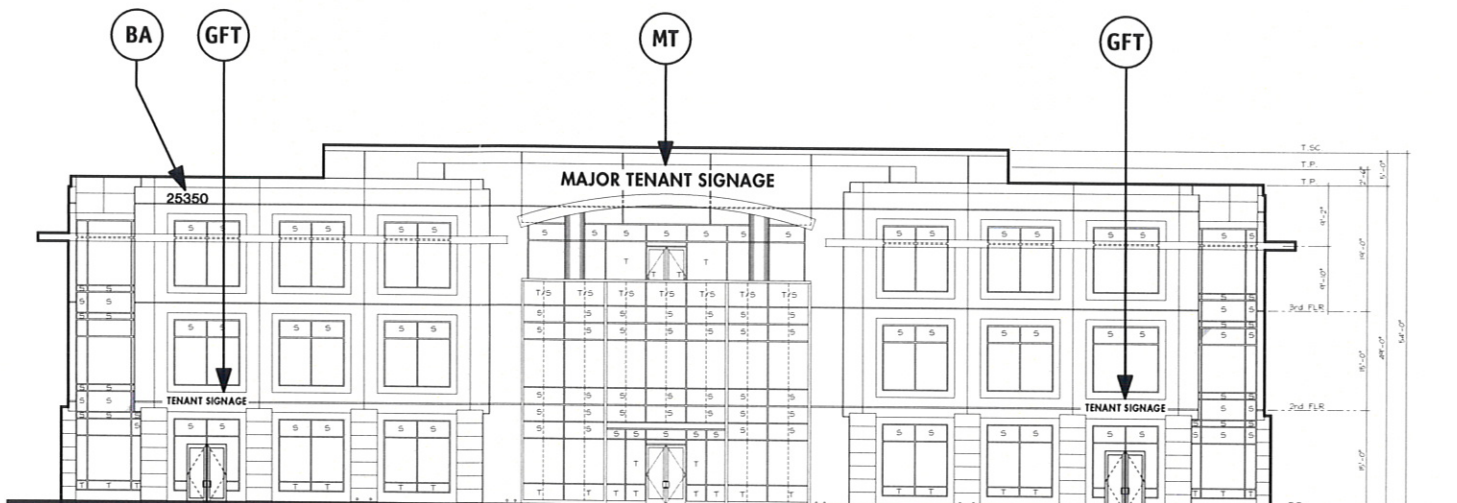
Tel: 661.295.0624

email: cary@imagefactor.com

**25350 / NORTH TOWER
 BUILDING ELEVATIONS SHOWING
 MAJOR TENANT ON BUILDING ID,
 GROUND FLOOR TENANT ID &
 BUILDING ADDRESSES**



NORTH ELEVATION (25350)



WEST ELEVATION (25350)



SOUTH ELEVATION (25350)



EAST ELEVATION (25350)

- MT** MAJOR TENANT BUILDING IDENTIFICATION: Maximum of 30" Tall (reverse or regular channel) fabricated aluminum letters with internal illumination, letters to be painted with Matthews satin polyurethane (color tbd), there will be one Major Tenant On Building Identification sign allowed per building elevation.
- GFT** GROUND FLOOR TENANT IDENTIFICATION: Maximum of 14" tall reverse channel fabricated aluminum letters with halo illumination (6500 white), letters to be painted with Matthews satin polyurethane (color tbd), Ground floor tenants must have their own separate exterior entrance to be allowed signage (please note locations shown are possible locations, they may or may not be converted to have their own entrances, this will be the decision of the landlord at the time of signing lease).
- BA** BUILDING ADDRESS: 18" Tall reverse channel fabricated aluminum numbers with satin polyurethane paint finish (color to match building but to be contrasting as per fire department requirements), these numbers will be internally illuminated.

GATEWAY PLAZA
 25350 & 25360
 Magic Mountain Parkway
 Valencia, California
 91355

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

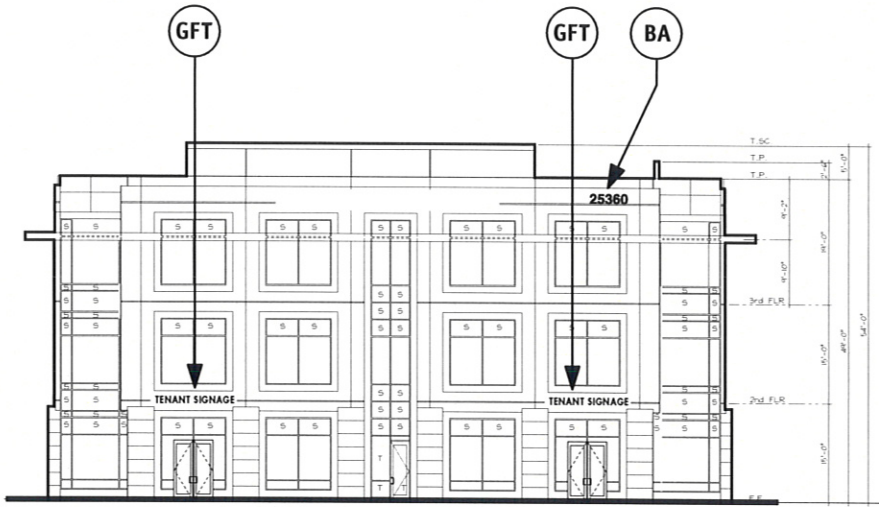
4605 Lankershim Blvd.
 Suite 707
 North Hollywood, CA
 91602

Prepared by:

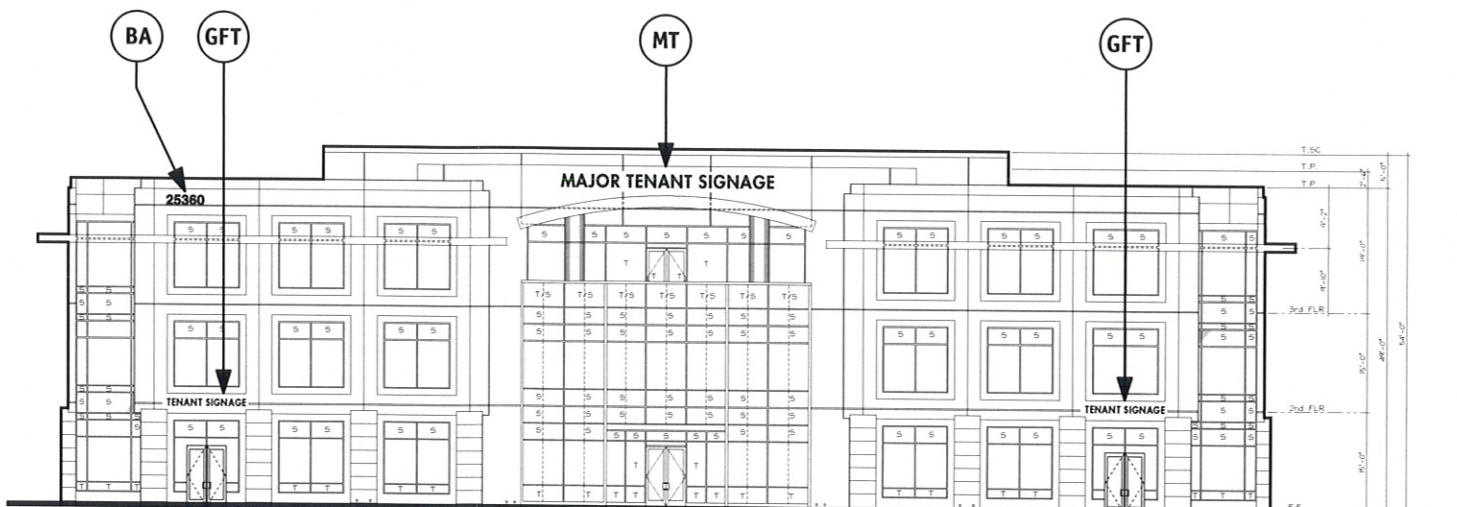


25317 West Avenue Stanford
 Valencia, California
 91355
 Contact: Cary Llewelyn
 Tel: 661.295.0624
 email: cary@imagefactor.com

**25360 / SOUTH TOWER
 BUILDING ELEVATIONS SHOWING
 MAJOR TENANT ON BUILDING ID,
 GROUND FLOOR TENANT ID &
 BUILDING ADDRESSES**



NORTH / EAST ELEVATION (25360)



NORTH / WEST ELEVATION (25360)



SOUTH / WEST ELEVATION (25360)



SOUTH / EAST ELEVATION (25360)

- (MT)** MAJOR TENANT BUILDING IDENTIFICATION: Maximum of 30" Tall (reverse or regular channel) fabricated aluminum letters with internal illumination, letters to be painted with Matthews satin polyurethane (color tbd), there will be one Major Tenant On Building Identification sign allowed per building elevation.
- (GFT)** GROUND FLOOR TENANT IDENTIFICATION: Maximum of 14" tall reverse channel fabricated aluminum letters with halo illumination (6500 white), letters to be painted with Matthews satin polyurethane (color tbd), Ground floor tenants must have their own separate exterior entrance to be allowed signage (please note locations shown are possible locations, they may or may not be converted to have their own entrances, this will be the decision of the landlord at the time of signing lease).
- (BA)** BUILDING ADDRESS: 18" Tall reverse channel fabricated aluminum numbers with satin polyurethane paint finish (color to match building but to be contrasting as per fire department requirements), these numbers will be internally illuminated.

PLANNED SIGN PROGRAM

Revised August 22, 2006

Prepared for:

TOURNEY ROAD INVESTORS, LLC.

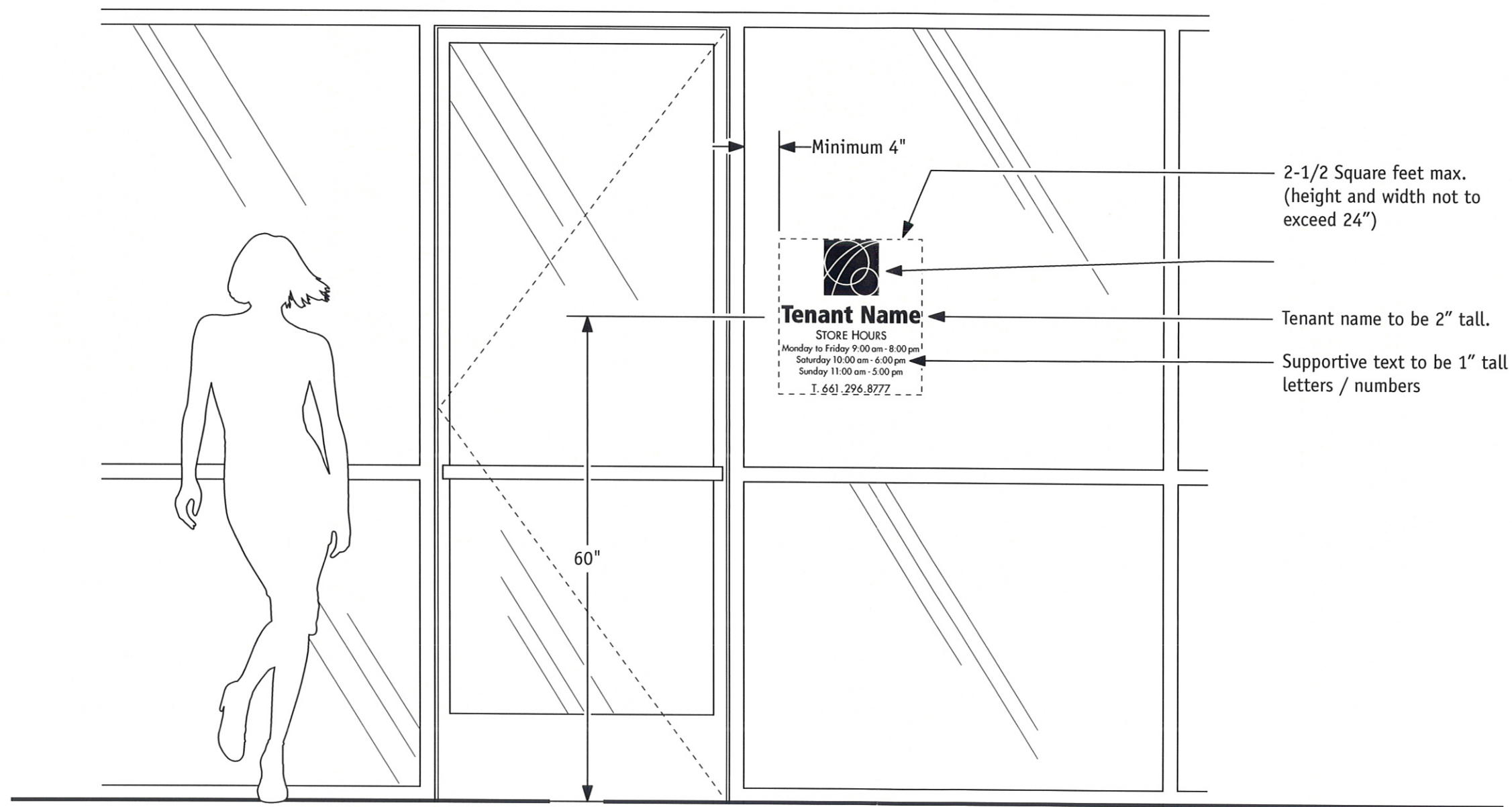
4605 Lankershim Blvd.
 Suite 707
 North Hollywood, CA
 91602

Prepared by:



25317 West Avenue Stanford
 Valencia, California
 91355

Contact: Cary Llewelyn
 Tel: 661.295.0624
 email: cary@imagefactor.com

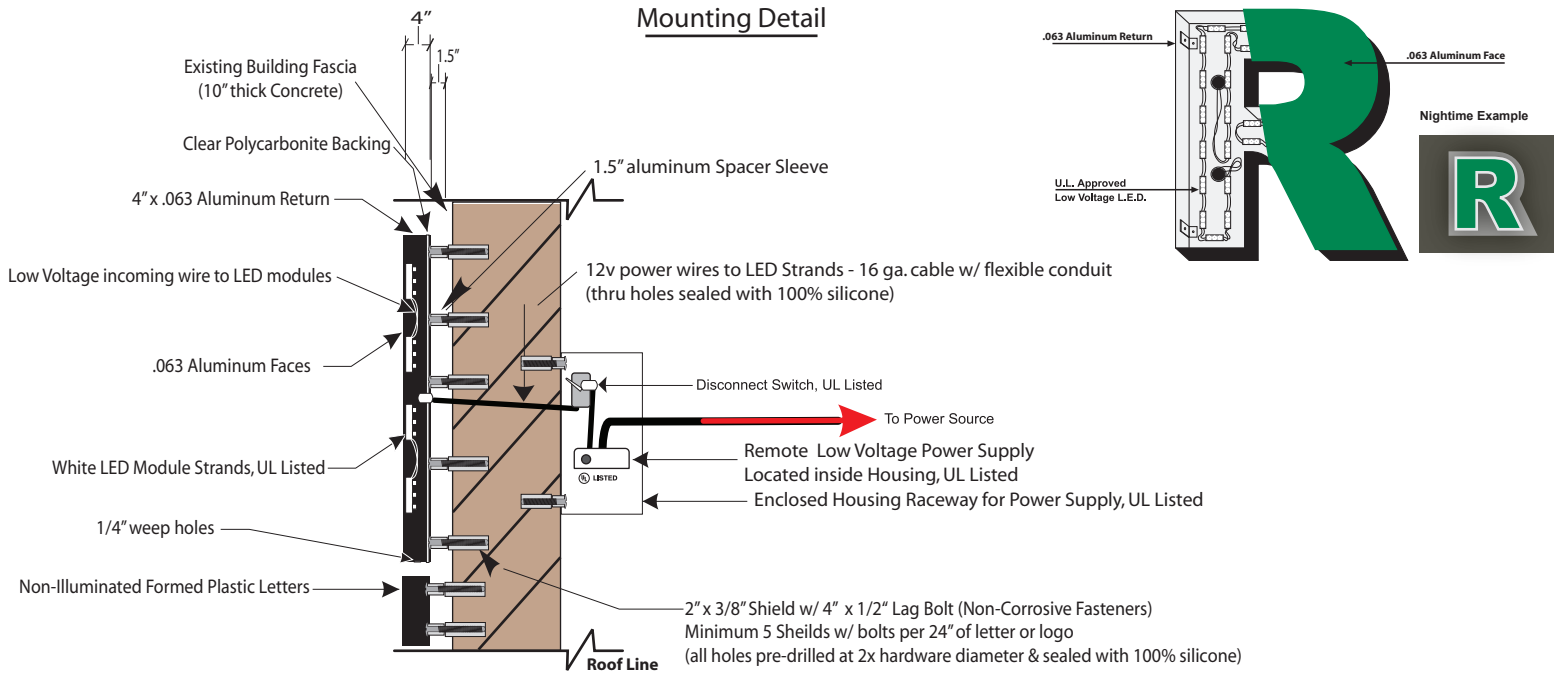


GROUND FLOOR TENANT INFORMATION SIGN ON STOREFRONT GLASS



Shop Drawing

Sign Type: Reverse Pan - Halo Lit Channel Letters
Overall Size: "Dilbeck Estates w/logo bar" - 48" x 234" / "Christies International Real Estate" - 31.25" x 174"
Finish: Painted Aluminum - "Dilbeck Estates" - PMS330 - Logo Bar - Brushed Silver - Christies International Real Estate - Black
Stand-offs: 1.5"
Returns: 4" deep
LED - UL Approved Low Voltage - White LED
Lease Space: 3291 sq. ft.



Customer Name: Dilbeck Real Estate
Christies International Realty
Contact: George Parker
Phone: 661.219.0175

Job Address: 25360 Magic Mountain Pkwy.
Suite# 100 - Santa Clarita, CA 91355

Property Owners/Land Lord:
 VDA Property
Contact: Tom Von Der Ahe Jr.
 email: t.vonderahe@vdaproperty.com
 phone: 818.980.9191

Approved: _____ Date: _____

Dee Sign Project Manager for Custom Sign Fabrication:

James Bakerink

PHONE | 818.904.3400 ext. 2113 FAX | 818.988.5930
 EMAIL | jamesb@deesignca.com

This Sign Intended to be Installed In accordance with the Requirements Of article 600 of the National Electrical Code and/or other applicable Local Codes. Includes Grounding (Bonding) of The Sign.



Dee Sign
 A Third Generation Family Business
16250 Stagg St.
Van Nuys, CA 91406
www.deesignca.com

WARNING

This Design is the Exclusive Property of Dee Sign Co. Any Reproduction in Whole or Part is a Violation of Applicable Laws without Written Approval