



City of
SANTA CLARITA

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**CITY OF SANTA CLARITA
COMMUNITY DEVELOPMENT DEPARTMENT
MASTER CASE NO. 18-251
SIGN REVIEW 18-034
PER CODE SECTION 17.23.190 OF THE
UNIFIED DEVELOPMENT CODE**

Date: January 2, 2019

Applicant: Chris O'Connell
18314 Oxnard Street #3
Tarzana, CA 91356

Location: Center at Shangri-La
18655 Soledad Canyon Road
Assessor's Parcel Number (APN): 2803-039-158

Request: The applicant is requesting a Sign Review to amend the existing Master Sign Program (MSP) for the Center at Shangri-La. The request would amend the MSP to permit larger signage on the south elevation of the Health Club Building located at 18655 Soledad Canyon Road (APN: 2803-039-158). The original conditions of approval approved under Master Case No. 01-092 and 18-059 remain in effect except as amended herein. The subject property is located within the Soledad Canyon Urban 1 (SC-U1) zone of the Soledad Corridor Plan area and is in the Mixed Use (MU) overlay zone. The project site is located within the community of Canyon Country.

Findings: In granting this approval, the Director of Community Development finds that the required Burden of Proof set forth in Section 17.23.190 of the Santa Clarita Municipal Code has been met by the applicant. The Director further finds that the use is categorically exempt since it meets the criteria set forth for a Class 11 exemption, pursuant to Section 15311(a) of the California Environmental Quality Act Guidelines. This approval is granted pursuant to the following conditions.



CONDITIONS OF APPROVAL

GENERAL CONDITIONS

- GC1. The approval of this project shall expire if the approved use is not commenced within two (2) years from the date of this approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code (UDC).
- GC2. To the extent the use approved with this project is a different use than previously approved for the property, the prior approval shall be terminated along with any associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The use shall not be re-established or resumed after the one hundred eighty (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.
- GC3. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than sixty (60) days prior to expiration.
- GC4. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within thirty (30) days of said change.
- GC5. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul the approval of this project by the City, including any related environmental approvals. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant. If the City fails to notify the applicant or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) the City bears its own attorneys' fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC6. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC7. The applicant and property owner shall comply with all inspections requirements as deemed necessary by the City of Santa Clarita.

- GC8. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances including, but not limited to, the California Building Code (Building, Mechanical, Plumbing, Electrical, Green Building, and Energy Codes), Fire Code, Unified Development Code (Grading Code and Undergrounding of Utilities Ordinance), Utilities Code (Sanitary Sewer and Industrial Waste Ordinance), and Highway Permit Ordinance.
- GC9. This grant shall not be effective for any purpose until the applicant has filed with the Director of Community Development, their affidavit (Acceptance Form) stating that they are aware of, and agree to accept, all of the conditions of this grant.
- GC10. Details shown on the site plan are not necessarily approved. Any details which are inconsistent with the requirements of state or local ordinances, general conditions of approval, or City policies and not modified by this permit must be specifically approved.
- GC11. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. The applicant shall be permitted to install appropriate signage for the South Elevation of the Health Club building at 18655 Soledad Canyon Road. All signs shall be in compliance with the approved Master Sign Program on-file with the Planning Division.
- PL2. All original conditions of approval for the MSP (attached) remain in effect, as approved under Master Case No. 01-092 and 18-059, except as amended herein.
- PL3. Tenant signage shall be in compliance with the sign exhibits and plot plan in the approved MSP.
- PL4. Logo signs on the South Elevation of the Health Club Building (Location "A" on the approved Plot Plan) shall not exceed seven feet in height, as indicated in the MSP. The dimensions of all other signage shall remain as approved under Master Case No. 01-092 and 18-059.
- PL5. No tenant shall be allowed more than one sign per elevation, unless otherwise permitted in the MSP.
- PL6. Except as otherwise permitted in the MSP, signage shall be subject to Unified Development Code Section 17.51.080 Sign Regulations (Private Property), including but not limited to requirements for width and sign location.
- PL7. The proposed signs shall be developed in conformance with the approved plans on file with the Planning Division. Any changes shall be subject to further review and approval by the Director of Community Development.
- PL8. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
- PL9. The signs shall not be located in such a manner as to impede traffic or sight visibility.

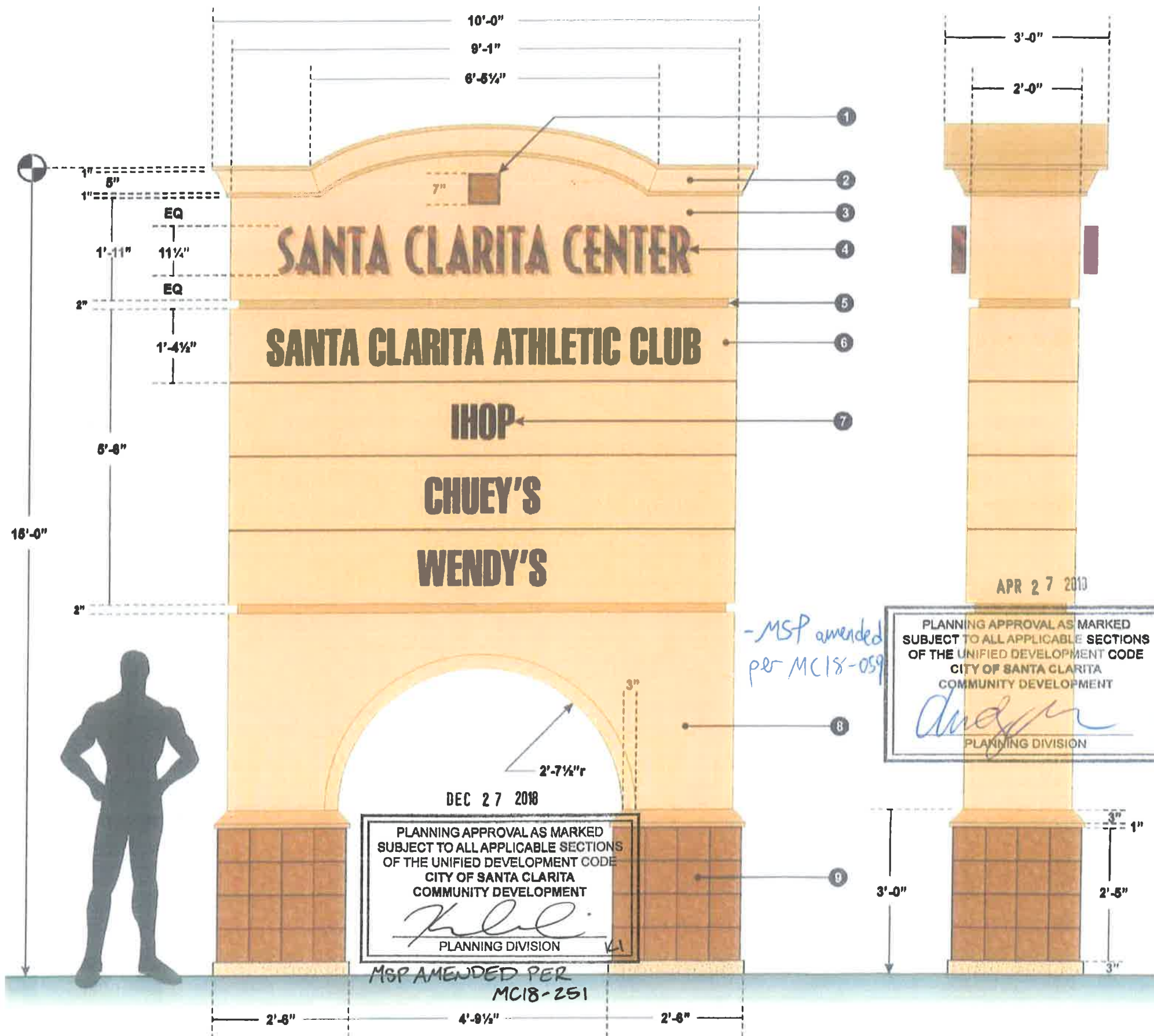
PL10. No exposed or open neon is allowed.

If you have any questions regarding this application, I can be reached at (661) 255-4330 or by email at kirvin@santa-clarita.com.

Sincerely,



Kendall Irvin
Planning Technician



SPECIFICATIONS:

1. 6" PROJECT TILE ACCENT WITH ALUMINUM BACKER PAINTED TO MATCH PROJECT CHANNEL LETTERS
 2. CUSTOM FABRICATED CORNICE FASHIONED FROM HIGH DENSITY FOAM. CORNICE TO HAVE TEXTCOTE STUCCO FINISH AND PAINTED TO MATCH BUILDING.
 3. CUSTOM FABRICATED ALUMINUM CABINET WITH TEXTCOTE STUCCO FINISH AND PAINTED TO MATCH BUILDING.
 4. 3" DEEP REVERSE ALUMINUM CHANNEL LETTERS PEGGED 1/4" FROM BACK-GROUND. INTERNAL ILLUMINATION PROVIDED BY 16mm 6500 WHITE NEON LUMINOUS TUBING. LETTERS TO HAVE FAUX ANTIQUED COPPER FINISH.
 5. 2" DEEP ALUMINUM REVEAL
 6. REMOVABLE ALUMINUM PANEL WITH TEXTCOTE STUCCO FINISH PAINTED FRAZEE #8262W "PEANUT SHELL".
 7. 5" DEEP INTERNALLY ILLUMINATED CHANNEL LETTERS. (ARTWORK DEPICTED IS FOR PLACEMENT PURPOSES ONLY)
 8. CUSTOM FABRICATED ALUMINUM POLE COVER WITH TEXTCOTE STUCCO FINISH PAINTED FRAZEE #8262W "PEANUT SHELL".
 9. PROJECT TILE BASE (GMG STONE TILE #12 CAFE 2
- * DEDICATED ELECTRICAL CIRCUIT REQUIRED

PLANNING APPROVAL AS MARKED
 SUBJECT TO ALL APPLICABLE SECTIONS
 OF THE UNIFIED DEVELOPMENT CODE
 CITY OF SANTA CLARITA
 COMMUNITY DEVELOPMENT
Anders
 PLANNING DIVISION

DEC 27 2018
 PLANNING APPROVAL AS MARKED
 SUBJECT TO ALL APPLICABLE SECTIONS
 OF THE UNIFIED DEVELOPMENT CODE
 CITY OF SANTA CLARITA
 COMMUNITY DEVELOPMENT
Phil
 PLANNING DIVISION

JUN 5 2001
 PLANNING APPROVAL AS MARKED
 SUBJECT TO ALL APPLICABLE SECTIONS
 OF THE UNIFIED DEVELOPMENT CODE
 CITY OF SANTA CLARITA
 PLANNING AND BUILDING SERVICES
[Signature]
 PLANNING DIVISION



1700 West Anaheim Street
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Project:
 TCP MANAGEMENT

Address:
 SANTA CLARITA
 CENTER

Account Manager:
 RANDY POTTS

Designer:
 mtr

Scale:
 AS NOTED

Design No.:
 00-10-1330-04

Date:
 April 17, 2001

Reg. No.:

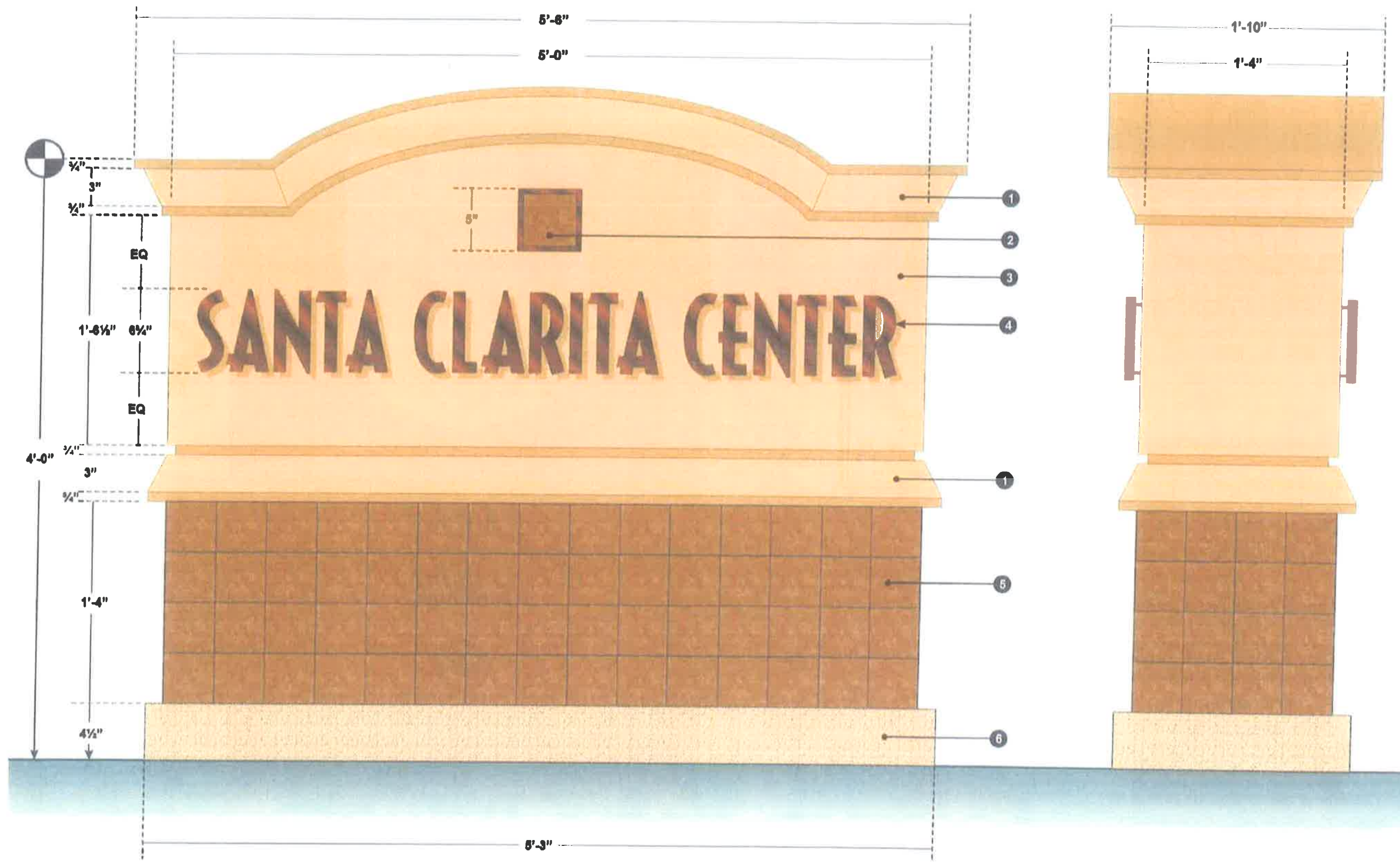
Revisions:
 R2 (mtr) 1-10-2001 - Revisions per city guidelines
 R3 (mtr) 1-10-2001 - Add 8" to either side of pylon sign
 R4 (mtr) 4-17-2001 - Pylon sign to have only four panels
 R5 (mtr) 8-7-2001 - Pylon sign to have channel letters for tenants

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INTERNALLY ILLUMINATED MULTI-TENANT PYLON SIGN
ONE UNIT REQUIRED

SCALE: 1/2" = 1'-0"



EXTERNALLY ILLUMINATED DIRECTIONAL SIGN
ONE UNIT REQUIRED

1. CUSTOM FABRICATED CORNICE FASHIONED FROM HIGH DENSITY FOAM. CORNICE TO HAVE TEXTCOTE STUCCO FINISH AND PAINTED TO MATCH BUILDING.
 2. PROJECT TILE ACCENT
 3. CUSTOM FABRICATED ALUMINUM CABINET WITH TEXTCOTE STUCCO FINISH AND PAINTED FRAZEE 8262W "PEANUT SHELL".
 4. 3/4" THICK SINTRA LETTERS WITH FAUX ANTIQUED FINISH. LETTERS TO BE PEGGED 1/2" FROM SURFACE
 5. PROJECT TILE BASE (GMG STONE TILE #12 CAFE 2)
 6. CONCRETE FOUNDATION TO INCLUDE A MOWSTRIP WITH A 6" MINIMUM DISTANCE FROM ALL SIDES
- * EXTERNAL LIGHT SOURCE REQUIRED

SCALE: 1 1/2" = 1'-0"



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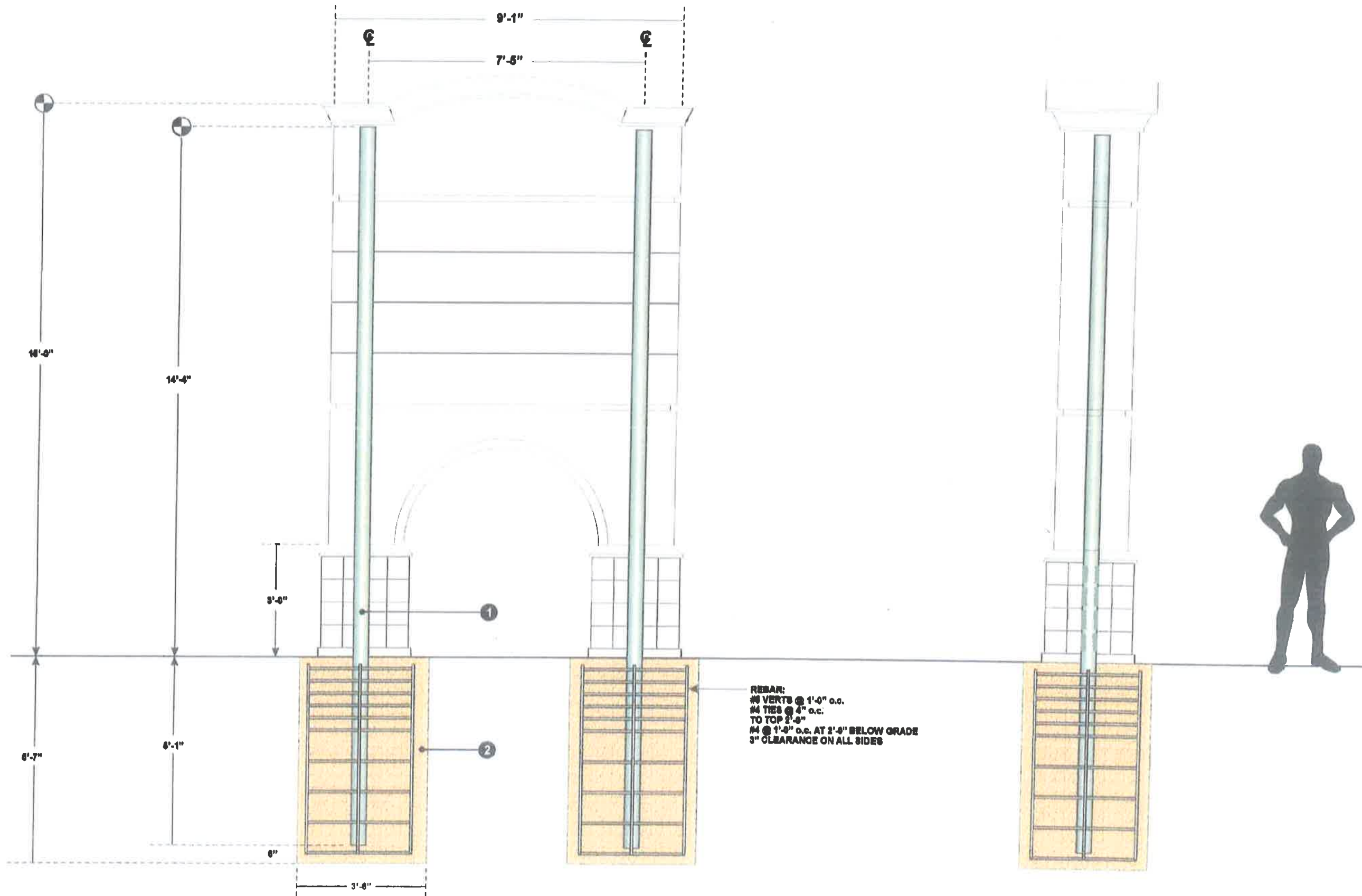
Revisions:

- R2 (mtr) 1-10-2001 - Revisions per city guidelines
- R3 (mtr) 1-18-2001 - Add 6" to either side of pylon sign
- R4 (mtr) 4-17-2001 - Pylon sign to have only four panels
- R5 (mtr) 5-7-2001 - Pylon sign to have channel letters for tenants

Page: **3** Of: **9**

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INTERNALLY ILLUMINATED MULTI-TENANT PYLON SIGN
ONE UNIT REQUIRED

- 1. 6" DIAMETER x .256 STEEL PIPE
- 2. CONCRETE FOOTING

SCALE: 3/8" = 1'-0"



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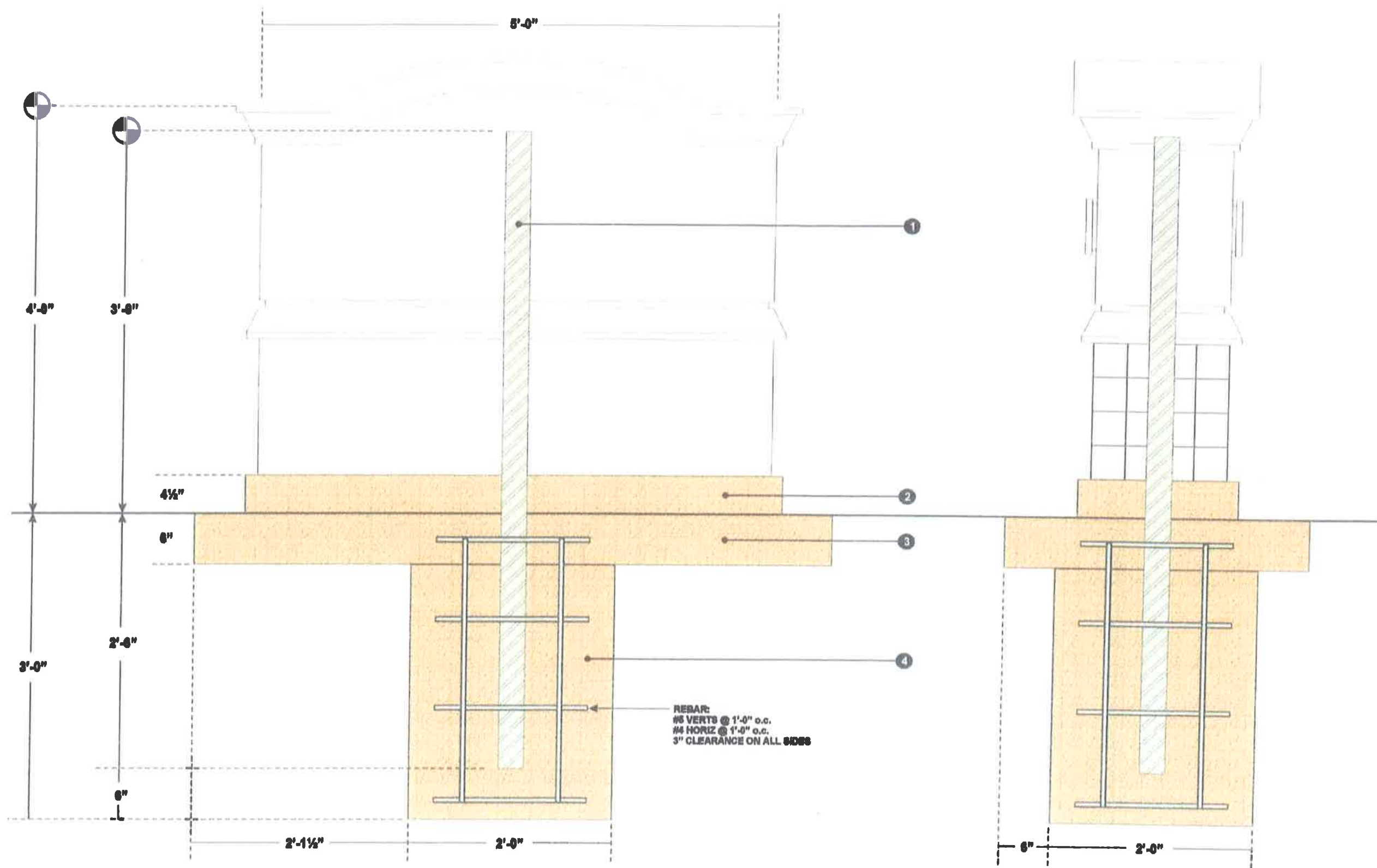
Revisions:

- R2 (mtr) 1-10-2001 - Revisions per city guidelines
- R3 (mtr) 1-19-2001 - Add 9" to either side of pylon sign
- R4 (mtr) 4-17-2001 - Pylon sign to have only four panels
- R5 (mtr) 6-7-2001 - Pylon sign to have channel letters for tenants

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EXTERNALLY ILLUMINATED DIRECTIONAL SIGN
ONE UNIT REQUIRED

1. 3" x 3" x 3/16" STEEL SQUARE TUBE
2. POURED IN PLACE CONCRETE ABOVE GROUND MONUMENT BASE.
3. POURED IN PLACE CONCRETE MOW STRIP.
4. POURED IN PLACE CONCRETE FOOTING.

SCALE: 1" = 1'-0"



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Designer:
mwr

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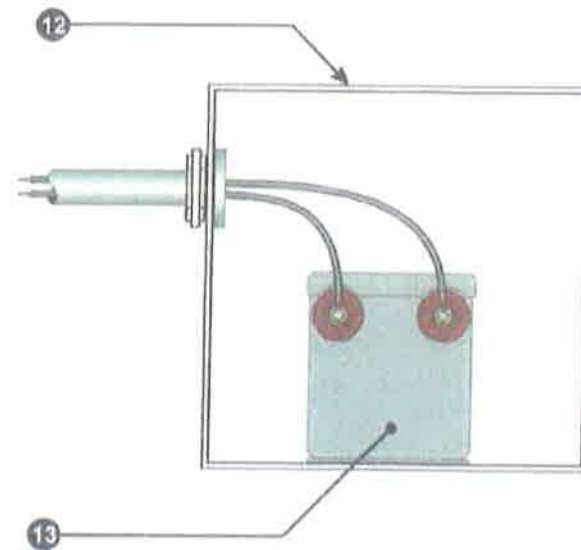
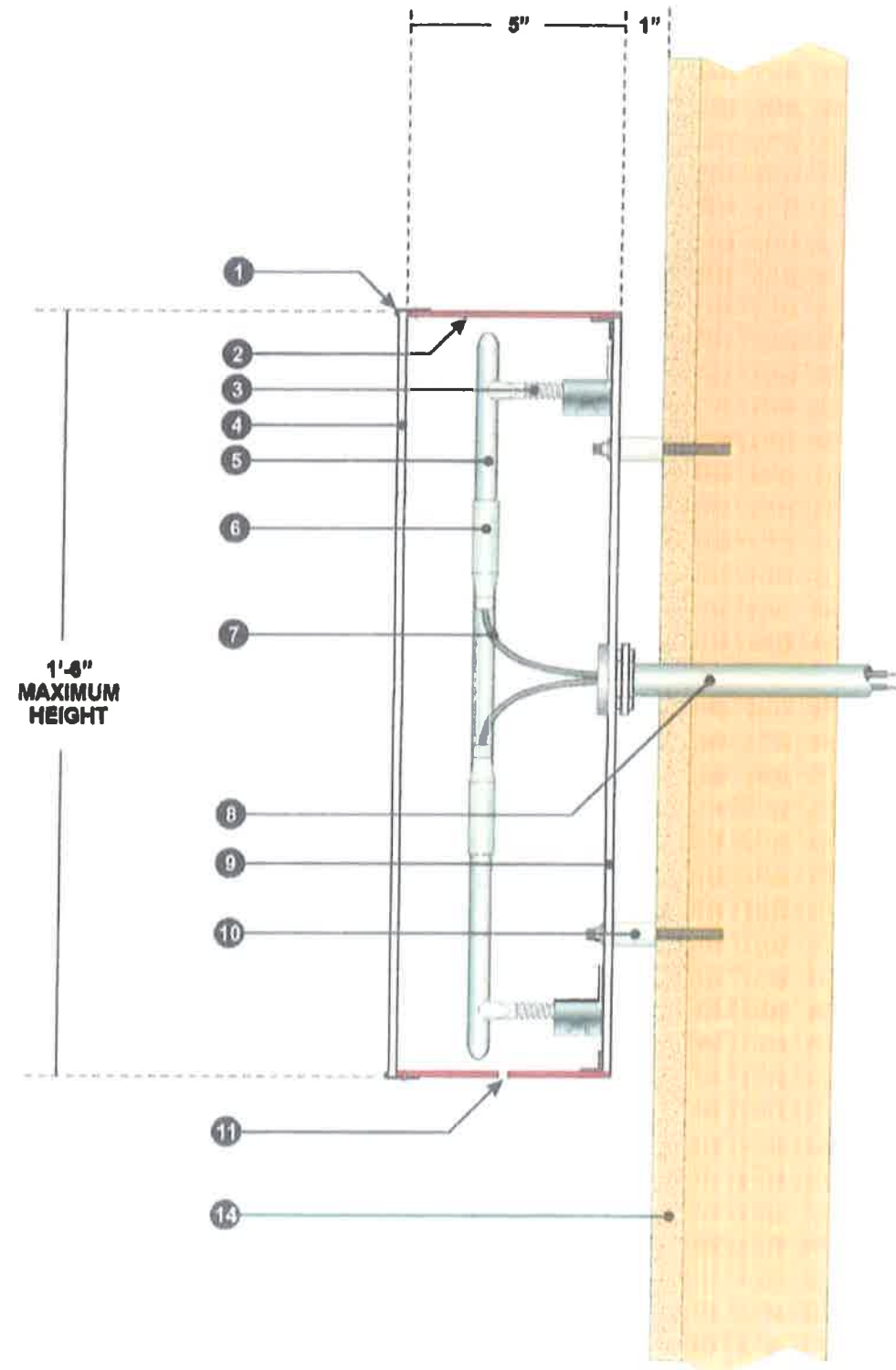
Revisions:

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SPECIFICATIONS:

1. 1/4" TRIMCAP EDGE
2. 5" DEEP ALUMINUM RETURN
3. NEON TUBE SUPPORT
4. 3/16" THICK TRANSLUCENT ACRYLIC PLASTIC SIGN FACE
5. 6500 WHITE NEON LUMINOUS TUBING
6. INSULATING BOOT
7. GTO WIRE
8. EMT ELECTRICAL CONDUIT
9. 1/8" THICK CLEAR LEXAN LETTER BACK
10. MOUNTING STUDS WITH 1" SPACER
11. 1/2" WEEP HOLE (MIN. 2 PER LETTER)
12. VENTED GALVANIZED METAL TRANSFORMER BOX
13. TRANSFORMER
14. WALL SURFACE

SECTION DETAIL OF TYPICAL DUAL-VIEW CHANNEL LETTER FOR SECONDARY TENANTS

SCALE: 1:4



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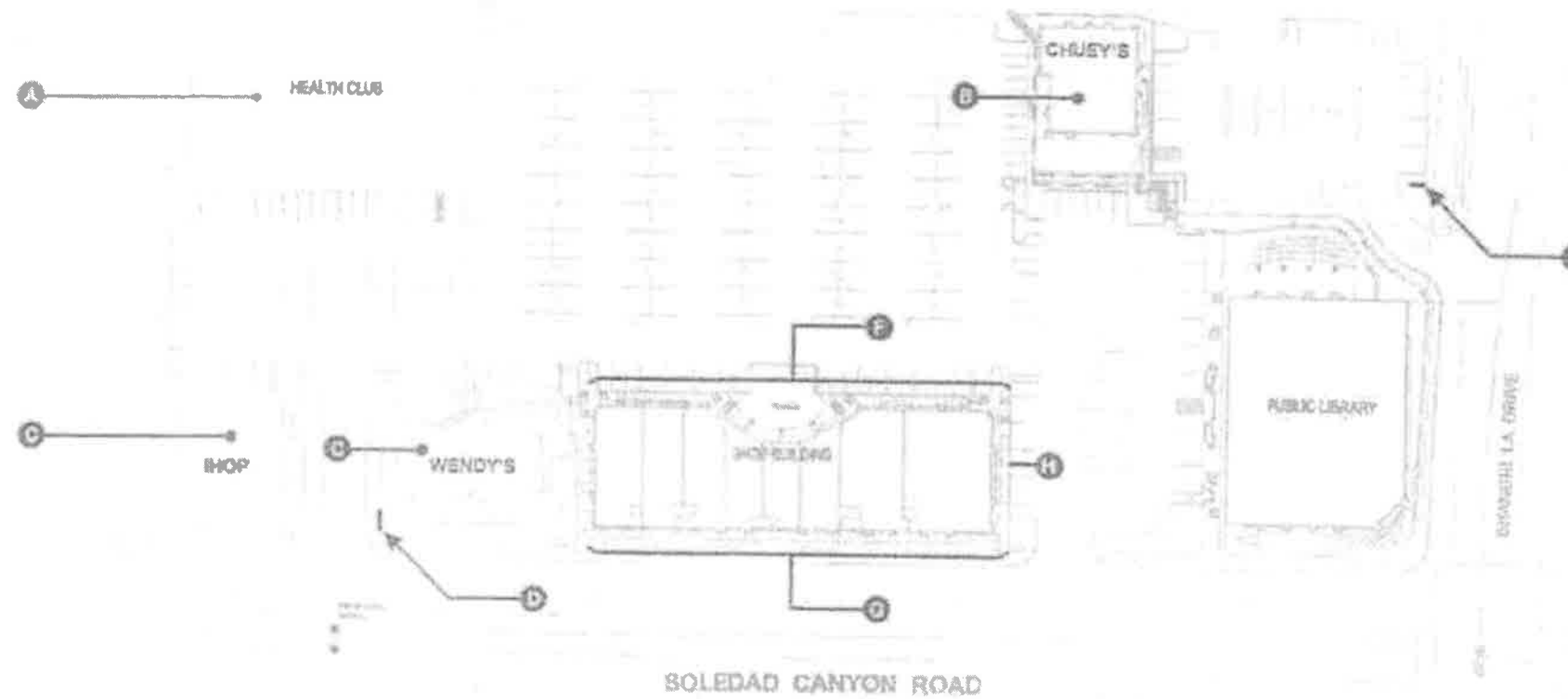
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PLOT PLAN

- A. MAXIMUM 7'-0" HIGH LOGO PERMITTED ON SOUTH ELEVATION
- A. MAXIMUM 3'-6" HIGH LETTERING PERMITTED ON SOUTH ELEVATION
MAXIMUM 2'-0" HIGH LETTERING PERMITTED ON EAST ELEVATION
- B. MAXIMUM 3'-0" HIGH LETTERING PERMITTED ON SOUTH ELEVATION
MAXIMUM 2'-0" HIGH LETTERING PERMITTED ON EAST & WEST ELEVATIONS
- C. 3'-0" LOGO & 7'-0" HIGH LETTERING PERMITTED
- D. 18'-0" x 8'-1" PYLON SIGN
- E. 4'-0" x 6'-0" MONUMENT SIGN
- F. MAXIMUM 2'-0" HIGH LETTERING PERMITTED
- G. MAXIMUM 2'-0" HIGH LOGO & COPY PERMITTED
- H. MAXIMUM 3'-0" HIGH LOGO & COPY PERMITTED

SCALE: 1" = 100'-0"



Land: ± 6.62 acres Land: ± 288,467 s.f.
 Building: NOT INCLUDING
 UTILITY EXPANSION 69,498 s.f.
 Land / Building Ratio: 3.15 / 1
 Parking Provided: 438 stalls
 Parking Ratio: 6.30 / 1000