



CITY OF SANTA CLARITA
Master Case Number 06-079
Sign Review 06-008
Per Code Section 17.19
of the Unified Development Code

Date: May 31, 2006

Applicant: Intertex General Contractors
Attn: Darcey Oldhafer
25322 Rye Canyon Road
Santa Clarita, CA 91355

Request: The applicant is requesting approval of a sign program for the commercial center identified as "The Shops at Tourney" located on the southeast corner of Tourney Road and Magic Mountain Parkway. The project site is located in the VSR (Visitor Serving/Resort) zone, in the City of Santa Clarita.

Findings: The Community Development Department has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this sign review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL / MITIGATION MEASURES

1. This approval allows for the construction of the following signage:

Three (3) Monument Signs

- Primary Monument Sign – The primary monument sign shall be located on the southeast corner of Magic Mountain Parkway and Tourney Road. The sign shall read "The Shops at Tourney" and shall be constructed on a decorative trellis structure. The address numbers for the center shall be installed with a minimum of 6" in height. The monument sign shall have a maximum height of 6'-10" and a maximum width of 18'-0". The maximum height of the trellis structure shall not exceed 8'-10" in height with a maximum width of 25'-10".



- Secondary Monument Signs – The applicant shall have permission to install two secondary monument signs on the project site. One sign shall be located at the southwest corner of Magic Mountain Parkway and Wayne Mills Place and the other shall be located at the northeast corner of Tourney Road and Wayne Mills Place. The secondary monument signs shall not exceed 5'-10" in height and 6'-4" in width with a maximum of a 10'-10" base. The address numbers for the center shall be installed at a minimum height of 6"
2. Wall signs shall adhere to the standards outlined on pages 9-11 of the sign program submitted by the applicant.
 3. Additional conditions identified in the sign program requested by the property owner shall include the following:
 - a) No neon shall be permitted in store windows.
 - b) No banners shall be permitted on the project site.
 - c) No freestanding signs shall be permitted on the project site.
 - d) Window signs shall not be permitted except as allowed on page six (6) of the sign program submitted by the applicant.
 - e) Signs shall not be attached to an external raceway.
 - f) All wall signs shall be a minimum of 1'-0" away from the top of the parapet and a minimum of 1'-6" away from the building edge.
 4. No exposed or open neon is allowed.
 5. The project shall be developed in conformance with the approved plans on file with the Planning Division. Any changes shall be subject to further review by the Director of Community Development.
 6. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
 7. All signs shall be located in such a manner as to not impede traffic or sight visibility.
 8. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
 9. This approval must be used within one (1) year from the date of issuance. This approval shall be considered null and void if not acted upon by May 19, 2006.
 10. The applicant must sign the attached notarized affidavit to confirm acceptance of the above conditions. The notarized affidavit must be returned to the Community Development Department before approval is granted.

Master Case 06-079
Sign Review 06-008
May 31, 2006
Page 3 of 3

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

Sincerely,

A handwritten signature in black ink, appearing to read 'Patrick Leclair', written over a horizontal line.

Patrick Leclair
Associate Planner

S:\CD\CURRENT\2006\06-079 (Shops at Tourney Sign Program)\06-079 conditions.doc

Project Location:

Thomas Guide Page 4550, Grid C-2
25373-25391 Wayne Mills Place
Valencia, CA
91355

Owner:

Tourney Road Retail, LLC
Contact: Darcey Oldhafer
25322 Rye Canyon Road
Valencia, CA
91355
Tel: 661.702.2262

Architect:

Benner Stange Associates
5000 South West Meadows Road
Suite 430
Lake Oswego, OR
97035
Tel: 503.670.0234

Sign Consultant:

Image Factor, Inc.
25317 West Avenue Stanford
Valencia, CA
91355
Tel: 661.295.0624
Fax: 661.295.0628
Email: cary@imagefactor.com

Governing Agency:

Newhall Land
Architectural Review Committee (ARC)
Contact: Marian Miller
23823 Valencia Boulevard
Valencia, CA
91355
Tel: 661.255.4441

City Planning Department:

City of Santa Clarita
Planning and Building Services
Contact: Patrick Leclair
23920 Valencia Boulevard
Suite 300
Valencia, CA
91355
Tel: 661.255.4330

THE Shops AT TOURNEY

P L A N N E D S I G N P R O G R A M



See MC#06-079

RECEIVED
PLANNING DIVISION

MAY 22 2006

CITY OF SANTA CLARITA



IMAGE FACTOR
DESIGN | FABRICATION

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PLANNED SIGN PROGRAM

Revised Oct. 12, 2005

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

TABLE OF CONTENTS



25373-25391 Wayne Mills Place
Valencia, California
91355

PURPOSE AND INTENT

The purpose of this Planned Sign Program is to provide for adequate and aesthetically pleasing On-Building and Ground Mounted Signage in conformance with the provisions set forth in the sign program for "The Shops at Tourney"

The intent of this Planned Sign Program is to produce uniform standards for all signage required by the project.

MAINTENANCE

All signs within "The Shops at Tourney" project shall be maintained in an as-new condition in accordance with the CC&R's for the project. Inspections of all signs on site will be made periodically. Any deficiencies shall be immediately corrected by the party responsible for said signs.

PLANNED SIGN PROGRAM

July 25, 2005

Prepared for:



25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:



25317 West Avenue Stanford
Valencia, California
91355
Contact: Cary Llewelyn
Tel: 661.295.0624
email: cary@imagefactor.com

**PURPOSE AND INTENT
MAINTENANCE**

APPROVALS

All signage must have written approval from the landlord and the Newhall Land Architectural Review Committee (ARC) Prior to City review, eligible sign applicants shall first obtain the approval from the landlord and then Newhall Land (ARC) by submitting the following:

- (1) Submit in triplicate the following to the landlord and then to the Newhall Land (ARC).
 - (a) Site plan and building elevation showing proposed sign locations and dimensions.
 - (b) Proposed materials, finishes, colors and illumination type.
- (2) For city approval submit (in triplicate) drawings as approved by The Newhall Land Architectural Review Committee to the City of Santa Clarita Planning Department, after planning approval proceed to the Building Department to obtain sign/building permits, these drawings should include the following:
 - (a) Site plan and building elevation showing proposed sign locations and dimensions.
 - (b) Proposed material, finishes, colors and illumination type .
 - (c) Section view showing fabrication and attachment details.
 - (d) Monument signs will need to include engineering done by a civil engineer that is licensed in the State of California

UNCERTAINTY OF SIGN STANDARDS

If a situation arises that is not covered by these sign standards or there is ambiguity, the sign applicant is referred to the landlord, the Newhall Land Architectural Review Committee and the City of Santa Clarita Planning Department for clarification and determination. The landlord, Newhall Land (ARC) and the City of Santa Clarita together will then approve signing that best meets the intent of the Planned Sign Program.

PLANNED SIGN PROGRAM

July 25, 2005

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Valencia, CA
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email: cary@imagefactor.com

APPROVALS
UNCERTAINTY OF SIGN STANDARDS

COMPLIANCE REQUIREMENT

No person shall erect, reerect, construct, enlarge, move, improve, convert or equip any sign or structure, or cause or permit the same to be done contrary to or in violation of any of the provisions of this Planned Sign Program. Conformance will be strictly enforced by the CC&R's and The City of Santa Clarita. All such non conforming or unapproved sign(s) must be brought into conformance at the expense of the person(s) responsible of said sign(s).

DESIGN CRITERIA & GENERAL SIGN STANDARDS

- (1) Sign area is defined as the entire area within a perimeter defined by a continuous line composed of right angles which encloses the extreme outer limits of lettering, logo or trademarks together with any frame or structural trim forming a part of the display used to differentiate the sign from the background against which it is placed.
- (2) The location of the (3) ground mounted monument signs shall conform to The City of Santa Clarita site distance triangle. Please note there will only be (3) monument signs allowed on this project.
- (3) All paint on aluminum or acrylic shall be satin polyurethane over proper primer.
- (4) All signs attached to the building shall be formed as individual letters and shall be surface mounted. No cabinet signs, signs made of foam or signs painted directly on the building will be permitted. All on-building signs shall be mounted directly onto building surface. No "raceways" or other visible means of attachment may be used.
- (5) All Monument and Primary "On Building Identification" signs must be illuminated, these types of signs may be internally or externally illuminated. All lighting techniques and fixtures must be submitted to the landlord, the Newhall Land (ARC) and the City of Santa Clarita for approval. There will be no flashing, moving or audible signs allowed on this project.
- (6) All attachment hardware shall be stainless steel to preclude rust staining of architectural surfaces and to permit ease of future removal or servicing.

SIGNS THAT ARE NOT ALLOWED

The following is a list of sign types that will not be allowed at "The Shops at Tourney" project

- (1) Window Graphics: No window graphics of any type will be allowed on this project except as noted on page (6) of this planned sign program.
- (2) Window Neon: No neon lighting will be allowed in any window of any store.
- (3) Banners: No banners of any type will be allowed on this project.
- (4) Freestanding Signs: No freestanding signs of any type will be allowed on this project.

PLANNED SIGN PROGRAM

Revised Oct. 12, 2005

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COMPLIANCE REQUIREMENT
DESIGN CRITERIA & GENERAL
SIGN STANDARDS
SIGNS THAT ARE NOT ALLOWED

SIGN DESCRIPTIONS

Project Monument Signs

This type of sign is provided for ground mounted project/business identification. This sign type shall conform to all the specifics shown on the exhibit with the following additional specifics: these signs shall have a fabricated aluminum cabinet mounted on top of a masonry base/footing. Sign footings and engineering shall be the responsibility of the sign contractor and a structural engineer licensed in the State of California. Signs must be set back from the street/curb so as not to block street traffic or driveway traffic. Only (3) Monument sign will be permitted for "The Shops at Tourney" project (see site plan).

On Building Identification Signs

These signs are provided for on-building business identification. The copy shall be limited to company name/logo and may be displayed as two lines of copy in company letter/logo style. This sign type must be internally or externally illuminated and fabricated from aluminum (secondary on building identification signs can be non-illuminated if approved by the landlord). Paint finish shall be satin polyurethane. Colors of signs will be subject to the approval of the landlord, the Newhall Land (ARC) and the City of Santa Clarita Planning Dept. These signs must either have a translucent acrylic face with internal neon illumination (standard channel type), be fabricated from aluminum with a clear polycarbonate back (reverse channel type) or fabricated completely from aluminum with external light fixtures. There will be no foam or painted on building signs allowed. All signs must have a minimum depth of 3" and a maximum depth of 10". There will be no visible raceways allowed.

This sign type shall occur above the storefront but not within 1'-6" of the edge of a building nor within 1'-0" from the top of a building.

Multiple Occupant Buildings may be allowed (1) primary "On Building Identification Sign" and (1) secondary "On Building Identification Sign". The maximum area allowed for a Primary "On Building Identification Sign" is (1-1/2) square feet for each one (1) linear foot of tenant storefront, the maximum length of a sign must not exceed 25'-0" nor 75% of the tenant storefront. Secondary "On Building Identification Signs" must not exceed 50% of the allowable square footage of the Primary "On Building Identification Sign" or (1-1/2) square feet for each (2) linear feet of the storefront.

Tenants in a Multiple Occupant Building that are located at either end may be allowed a third sign if the following requirements are met: (a) The building elevation where the third sign will be located must face a street or driveway entrance, (b) The sign location and size must be approved by the Landlord, Newhall Land (ARC) and The City of Santa Clarita Planning Department.

PLANNED SIGN PROGRAM

Revised March 27, 2006

Prepared for:



25322 Rye Canyon Road
Valencia, CA
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Prepared by:



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SIGN DESCRIPTIONS
Project Monument Signs
On Building Identification Signs

SIGN DESCRIPTIONS

Single Occupant Buildings may be allowed (2) primary "On Building Identification Sign" and (1) secondary "On Building Identification Sign". The maximum area allowed for a Primary "On Building Identification Sign" is one (1) square foot per one and a half (1-1/2) linear feet of storefront, the maximum length of a sign must not exceed 25'-0". Secondary "On Building Identification Signs" must not exceed 50% of the allowable square footage of the Primary "On Building Identification Signs" or (1) square foot for each (3) linear feet of the storefront.

Building Addresses

Each Building will have a minimum of one address located on the parapet level of the building. Numerals shall be a minimum of 12" tall x 2" deep, actual height will be determined by Los Angeles County Fire Dept. depending on visibility. Address numerals shall be fabricated out of aluminum and painted to match building in a contrasting color, paint finish to be satin polyurethane.

Identification Signs at Man Doors

This sign is provided for identification of tenant for shipping, receiving, employees and emergency services only, this sign will be limited to tenant address, company name and one line of copy that states what that entrance is intended for i.e., shipping, receiving, will call etc. This sign will be made of 1/8" aluminum plate with a satin polyurethane painted finish and 2 mil high performance vinyl graphics. Panel size would be 18" square.

Identification Signs at Entry Window Glass

Each tenant will be allowed one identification/information sign on their front window adjacent to entry door. Graphics will be limited to white high performance self-adhesive vinyl. The maximum area of this sign will be 2-1/2 Sq.Ft. Maximum width and height is 24". Lettering shall not exceed 2" in height and logos shall not exceed 10" in height. Supportive text shall be limited to 1" tall lettering set in legend form. The graphics shall be centered vertically at 60" and must be at least 4" from any edge of glass.

Tenant Address on Storefront Glass above Entry

Each tenant space must have a minimum of (1) address located above the entry doors, these address numbers must be computer cut vinyl mounted to the face of the glass, addresses numbers must be white with a 1/2" black outline, all vinyl to be 2 mil high performance type.

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SIGN DESCRIPTIONS

On Building Identification Signs
(for single occupant buildings)
Building Addresses
Identification Signs at Man Doors
Identification Signs at Entry
Window Glass
Tenant Address on Storefront Glass

THE *Shops* AT TOURNEY

25373-25391 Wayne Mills Place
Valencia, California
91355

PLANNED SIGN PROGRAM

Revised August 5, 2005

Prepared for:



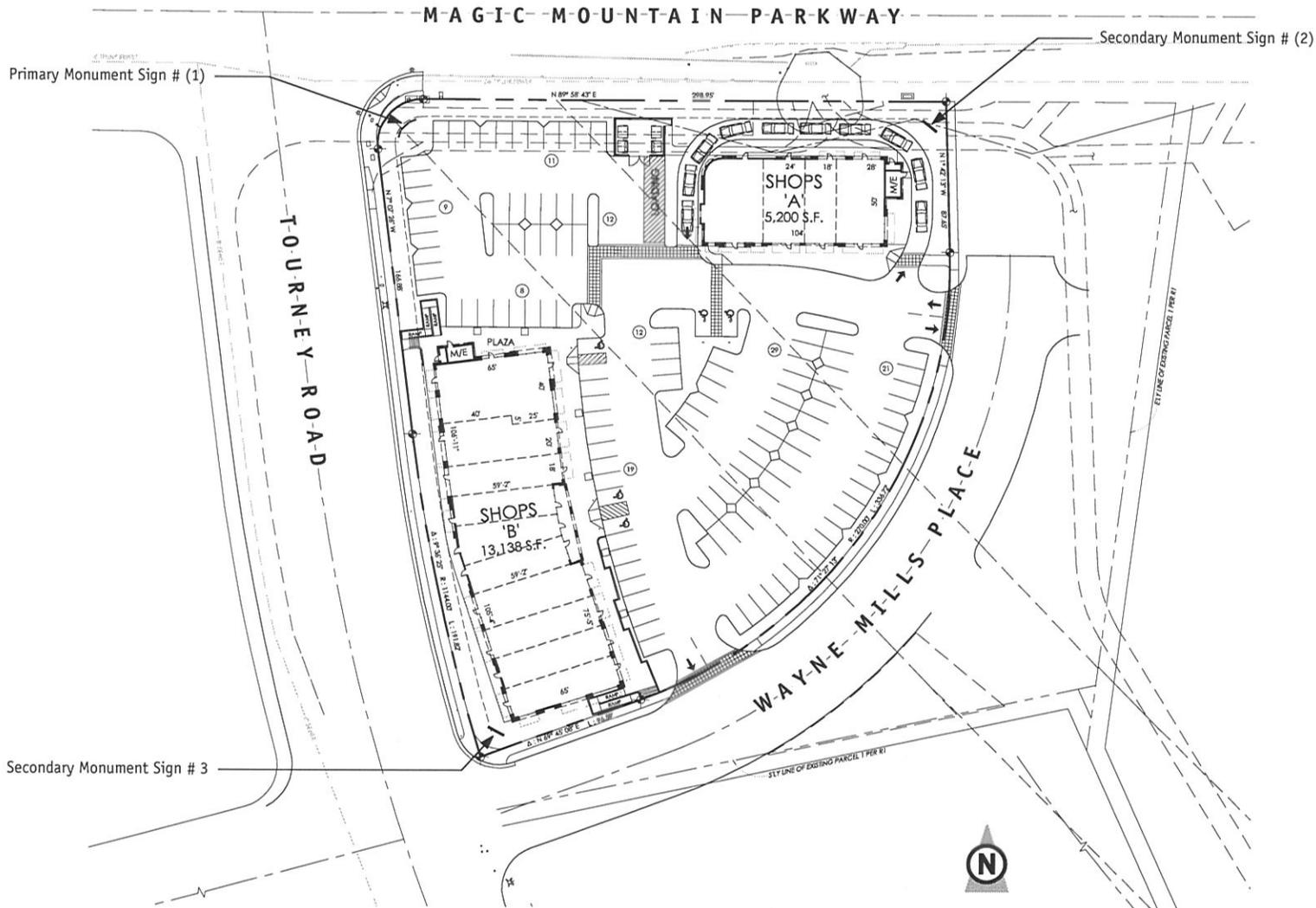
25322 Rye Canyon Road
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PROJECT PLOT PLAN



The Primary Monument has been replaced by the attached pages 12-16

THE *Shops* AT TOURNEY

25373-25391 Wayne Mills Place
Valencia, California
91355

PLANNED SIGN PROGRAM

Revised November 28, 2006

Prepared for:



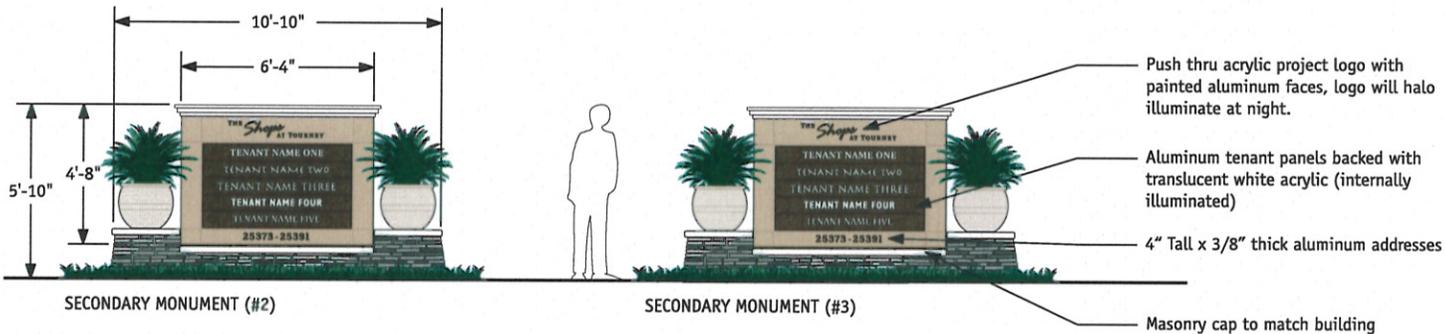
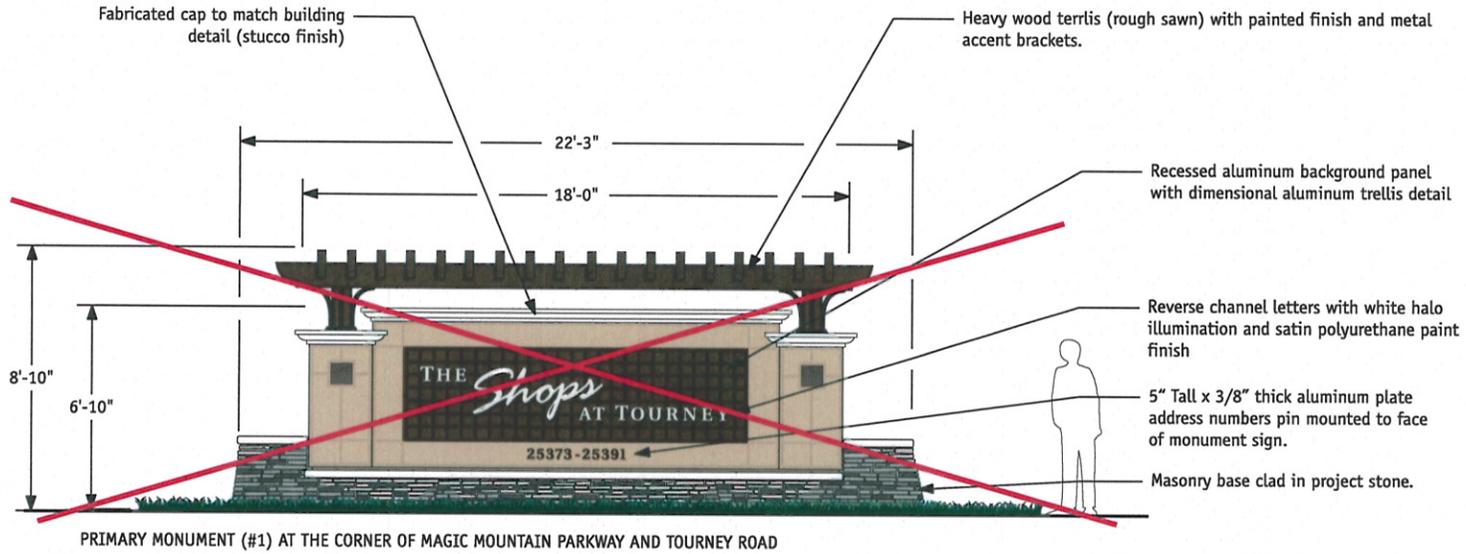
25322 Rye Canyon Road
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Prepared by:



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Valencia, California
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Tel: 661.295.0624
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PROJECT MONUMENT SIGNS
Primary and Secondary Type



THE *Shops* AT TOURNEY

25373-25391 Wayne Mills Place
Valencia, California
91355

PLANNED SIGN PROGRAM

July 25, 2005

Prepared by:

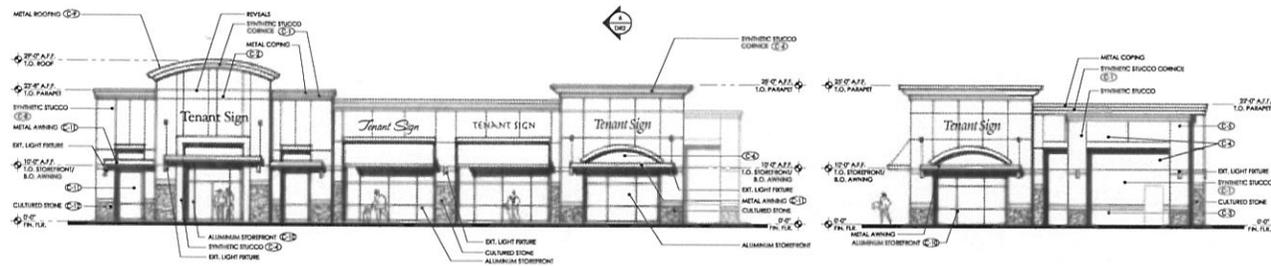


25322 Rye Canyon Road
Valencia, CA
91355

Prepared by:

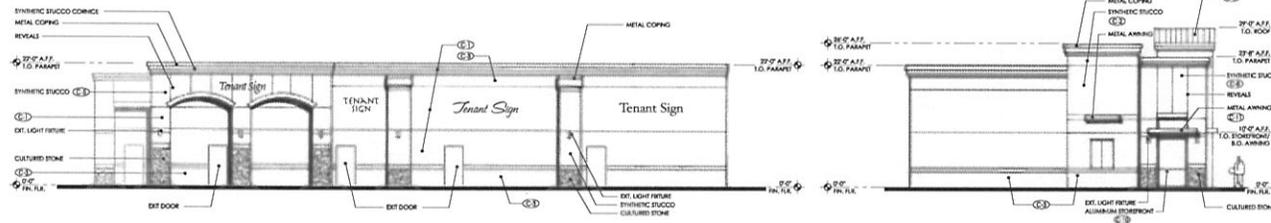


25317 West Avenue Stanford
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1 SOUTH ELEVATION
SCALE 1/8"=1'-0"

2 EAST ELEVATION
SCALE 1/8"=1'-0"



3 NORTH ELEVATION
SCALE 1/8"=1'-0"

4 WEST ELEVATION
SCALE 1/8"=1'-0"

BUILDING (A) ELEVATIONS
Proposed Tenant Sign Locations

THE *Shops*
AT TOURNEY

25373-25391 Wayne Mills Place
Valencia, California
91355

PLANNED SIGN PROGRAM

July 25, 2005

Prepared for:

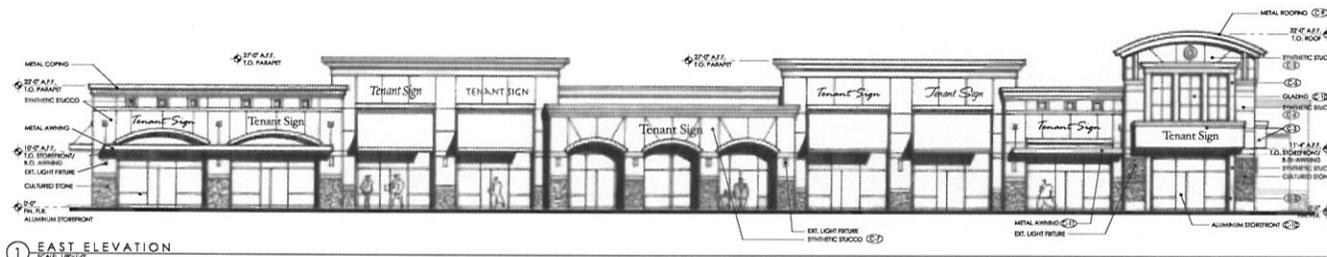


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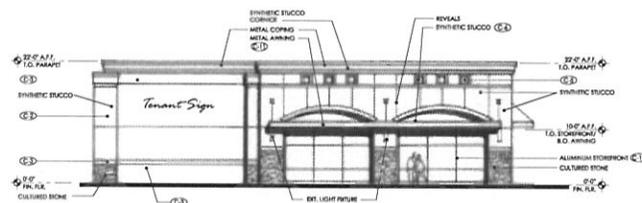
Prepared by:



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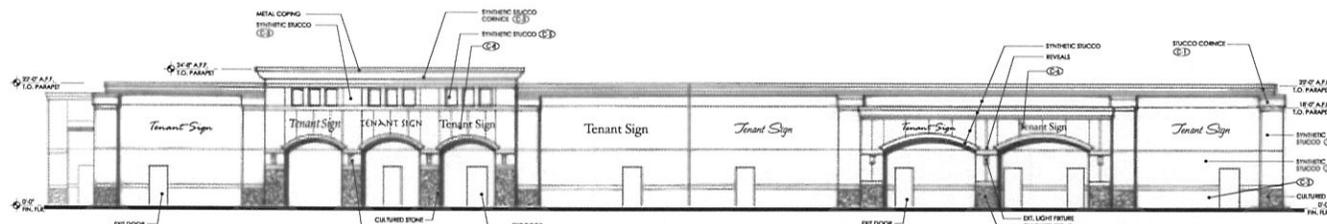
1 EAST ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

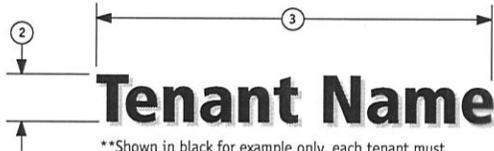


3 NORTH ELEVATION
SCALE: 1/8"=1'-0"



4 WEST ELEVATION
SCALE: 1/8"=1'-0"

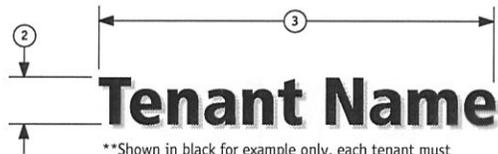
BUILDING (B) ELEVATIONS
Proposed Tenant Sign Locations



**Shown in black for example only, each tenant must submit colors when getting sign approval.

PRIMARY ON BUILDING IDENTIFICATION NOTES:

- ① Each Business in a Multiple Occupant Building may be allowed (1) Primary "On Building Identification Sign" & (1) Secondary "On Building Identification Sign" (Tenants located at the ends of a Multiple Tenant Building may be allowed a second Primary "On Building Identification Sign" if the elevation faces a street or entry driveway and it is approved by the landlord, Newhall Land (ARC) and The City of Santa Clarita Planning Department).
- ② Maximum letter height on a Primary "On Building Identification Signs" shall not exceed 2'-0", if the business name is in (2) lines or if there is a logo incorporated, the maximum overall height shall not exceed 3'-6".
- ③ This dimension shall be determined by the length of the individual business storefront that the sign will be attached to, occupants will be allowed (1-1/2) square feet of signage for each (1) linear foot of storefront.



**Shown in black for example only, each tenant must submit colors when getting sign approval.

SECONDARY ON BUILDING IDENTIFICATION NOTES:

- ① Each Business in a Multiple Occupant Building will be allowed (1) Primary "On Building Identification sign" and (1) Secondary "On Building Identification Sign"
- ② Maximum letter height shall not exceed 2'-0", if the business name is in (2) lines or if there is a logo incorporated, the maximum overall height shall not exceed 3'-6".
- ③ This dimension shall be determined by the length of the individual business storefront, Secondary "On Building Identification Signs" must not exceed 50% of the allowable square footage of the Primary "On Building Identification Signs" or (1-1/2) square feet for each (2) linear feet of storefront that the Secondary "On Building Identification Sign" is attached to.

THE Shops
AT TOURNEY

25373-25391 Wayne Mills Place
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ON BUILDING IDENTIFICATION SIGNS
Sign Dimension Notes

Existing Monument Signage



<p>SIGNS & DESIGNS 620 East Rancho Vista Blvd • Palmdale, CA 93550 O: 661.947.4473 F: 661.947.3559</p>	<p>Project Address The Shops at Tourney 25343 Wayne Mills Rd Valencia, C A91355</p>	<ul style="list-style-type: none"> • ----- Client Approval • ----- Landlord Approval 	<p>Property Owner Darcey Oldhafer Intertex Companies 26074 Avenue Hall, Unit #1 Valencia, CA 91355 661-702-2262</p>	<p>Sales Rep: Taryn Wilson 661.947.4473 x302 661.947.3559 taryn@signsanddesigns.tv</p> <p>MEMBER  LISTED </p>
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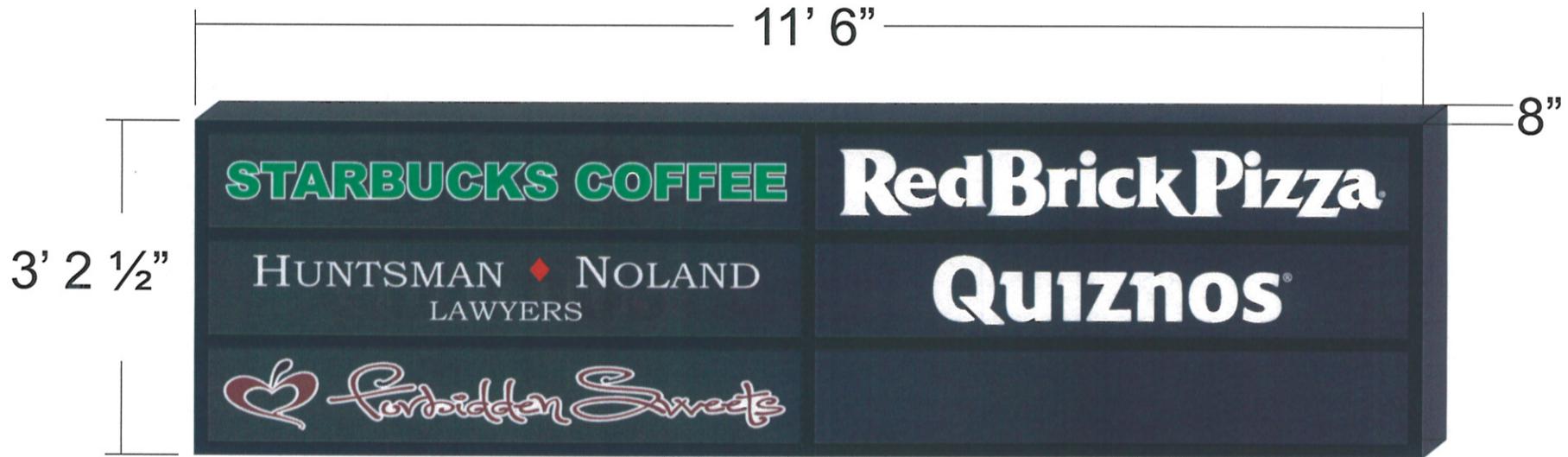
Proposed Monument Signage



New Cabinet to fit in existing 1 1/2" deep recessed area. New Sign cabinet to be 8" Deep for Lamp Illumination and protrude from structure 6.5"



 <p>620 East Rancho Vista Blvd • Palmdale, CA 93550 O: 661.947.4473 F: 661.947.3559</p>	<p>Project Address The Shops at Tourney 25343 Wayne Mills Rd Valencia, C A91355</p>	<ul style="list-style-type: none"> • ----- Client Approval • ----- Landlord Approval 	<p>Property Owner Darcey Oldhafer Intertex Companies 26074 Avenue Hall, Unit #1 Valencia, CA 91355 661-702-2262</p>	<p>Sales Rep: Taryn Wilson 661.947.4473 x302 661.947.3559 taryn@signsanddesigns.tv</p> <p>MEMBER INTERNATIONAL SIGN ASSOCIATION LISTED</p>
--	--	--	--	--



Illuminated Cabinet with 6 Tenants Panels

Faces: 060 Aluminum backed in 3/16 Plex

Graphics: HP Vinyl

Trim Cap: N/A

Removal: Channel Letters

Sign Area: 36.6sf cabinet

Lighting: CWHO Lamps

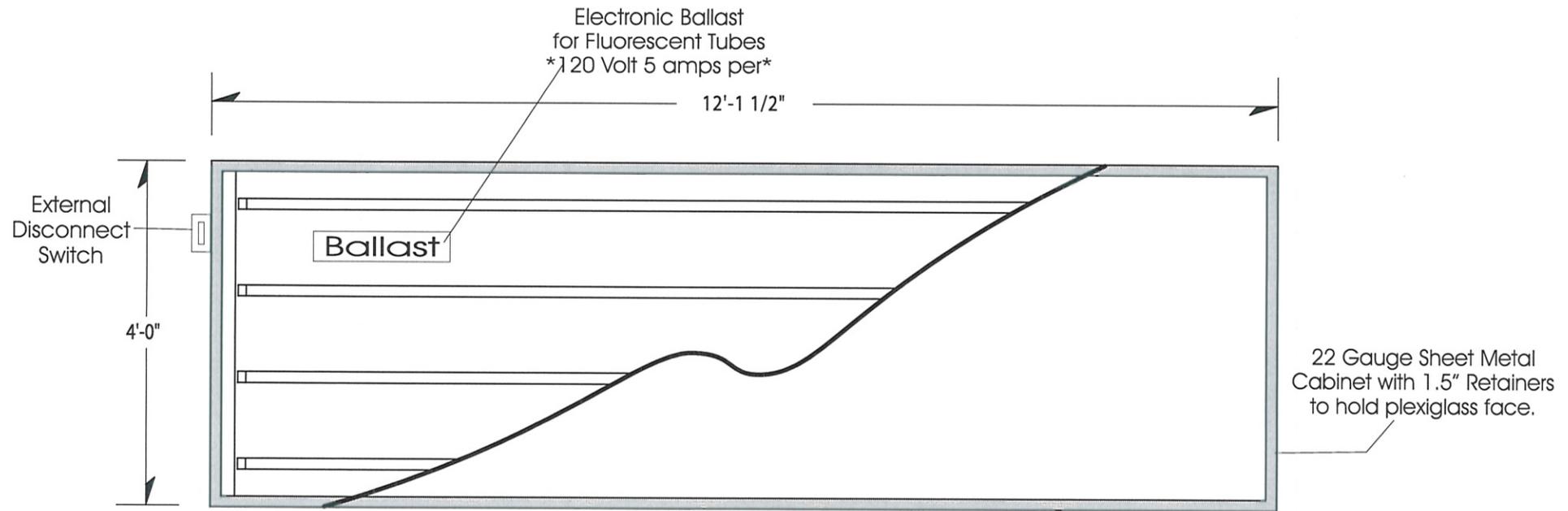
 Dark Brown Powdercoat

 White Plex

 Digital Print for Tenant Logos
(if approved by landlord)

 620 East Rancho Vista Blvd • Palmdale, CA 93550 O: 661.947.4473 F: 661.947.3559	<p>Project Address The Shops at Tourney 25343 Wayne Mills Rd Valencia, C A91355</p>	<ul style="list-style-type: none"> • ----- Client Approval • ----- Landlord Approval 	<p>Property Owner Darcey Oldhafer Intertex Companies 26074 Avenue Hall, Unit #1 Valencia, CA 91355 661-702-2262</p>	<p>Sales Rep: Taryn Wilson 661.947.4473 x302 661.947.3559 taryn@signsanddesigns.tv</p> <p>MEMBER  LISTED </p>
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Electrical Specifications



LISTING MARKS:

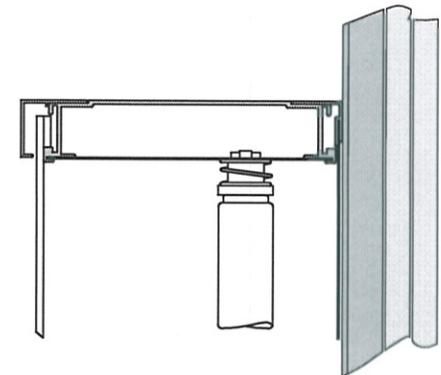
1. LISTING MARK SIGN SECTION LABEL SHALL BE ON EACH LETTER AND TRANSFORMER ENCLOSURE.

THE FIRST BLANK SPACE IDENTIFIES THE NUMBER OF EACH SIGN SECTION. THE SECOND BLANK SPACE IDENTIFIES THE TOTAL NUMBER OF SIGN SECTIONS.



(OR OTHER ACCREDITED TESTING LABORATORY)

ELECTRIC SIGN SECTION



<p>SIGNS & DESIGNS 620 East Rancho Vista Blvd • Palmdale, CA 93550 O: 661.947.4473 F: 661.947.3559</p>	<p>Project Address The Shops at Tourney 25343 Wayne Mills Rd Valencia, C A91355</p>	<p>..... Client Approval Landlord Approval</p>	<p>Property Owner Darcey Oldhafer Intertex Companies 26074 Avenue Hall, Unit #1 Valencia, CA 91355 661-702-2262</p>	<p>Sales Rep: Taryn Wilson 661.947.4473 x302 661.947.3559 taryn@signsanddesigns.tv</p> <p>MEMBER INTERNATIONAL SIGN ASSOCIATION LISTED</p>
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X= Monument Location



<p>SIGNS & DESIGNS 620 East Rancho Vista Blvd • Palmdale, CA 93550 O: 661.947.4473 F: 661.947.3559</p>	<p>Project Address The Shops at Tourney 25343 Wayne Mills Rd Valencia, C A91355</p>	<p>..... Client Approval Landlord Approval</p>	<p>Property Owner Darcey Oldhafer Intertex Companies 26074 Avenue Hall, Unit #1 Valencia, CA 91355 661-702-2262</p>	<p>Sales Rep: Taryn Wilson 661.947.4473 x302 661.947.3559 taryn@signsanddesigns.tv</p> <p>MEMBER INTERNATIONAL SIGN ASSOCIATION LISTED</p>
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