



City of
SANTA CLARITA

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**CITY OF SANTA CLARITA
COMMUNITY DEVELOPMENT DEPARTMENT
MASTER CASE NO. 20-205
SIGN REVIEW 20-022
PER CODE SECTION 17.23.190 OF THE
UNIFIED DEVELOPMENT CODE**

Date: October 21, 2020

Applicant: VTC Square Investors, LLC
Attn: Jim Backer
27651 Lincoln Place
Santa Clarita, CA 91387

Location: 27335 Tourney Road
Assessor's Parcel No. 2861-061-102

Request: The applicant is requesting approval of a Sign Review permit for the installation of two wall signs and a projecting sign located at 26701 McBean Parkway. The subject property is located in the Regional Commercial (CR) zone in the community of Valencia.

Findings: In granting this approval, the Director finds that the required Burden of Proof set forth in Section 17.23.190 of the Santa Clarita Municipal Code has been met by the applicant. The Director further finds that the use is categorically exempt since it meets the criteria set forth in Class 11 of Section 15311(a) of the California Environmental Quality Act Guidelines. This approval is granted pursuant to the following conditions:

CONDITIONS OF APPROVAL

GENERAL CONDITIONS

- GC1. The approval of this project shall expire if the approved use is not commenced within two (2) years from the date of this approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code (UDC).
- GC2. To the extent the use approved with this project is a different use than previously approved for the property, the prior approval shall be terminated along with any associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The use shall not be re-established or resumed after the one hundred eighty (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.
- GC3. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than sixty (60) days prior to expiration.
- GC4. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within thirty (30) days of said change.
- GC5. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul the approval of this project by the City, including any related environmental approvals. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant. If the City fails to notify the applicant or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) the City bears its own attorneys' fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC6. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC7. The applicant and property owner shall comply with all inspections requirements as deemed necessary by the City of Santa Clarita.

- GC8. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances including, but not limited to, the California Building Code (Building, Mechanical, Plumbing, Electrical, Green Building, and Energy Codes), Fire Code, Unified Development Code (Grading Code and Undergrounding of Utilities Ordinance), Utilities Code (Sanitary Sewer and Industrial Waste Ordinance), and Highway Permit Ordinance.
- GC9. This grant shall not be effective for any purpose until the applicant has filed with the Director of Community Development, their affidavit (Acceptance Form) stating that they are aware of, and agree to accept, all of the conditions of this grant.
- GC10. Details shown on the site plan are not necessarily approved. Any details which are inconsistent with the requirements of state or local ordinances, general conditions of approval, or City policies and not modified by this permit must be specifically approved.
- GC11. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. Unless otherwise approved by this permit, the proposed project shall comply with the UDC including, but not limited to, Section 17.51.080 (Sign Regulations).
- PL2. The applicant shall be permitted to install two wall signs and a projecting sign located at 26701 McBean Parkway. The signs approved by this Sign Review are limited to those items indicated below:
- Multitenant Wall Sign: One wall sign measuring 48 inches tall by 72 inches wide on the north elevation of the building, reading "The Offices at Monticello" and featuring three tenant panels.
- Secondary Wall Sign: One wall sign measuring 29 inches tall by 240 inches wide on the south elevation of the building, reading "Mission Valley Bank" and featuring the logo of the aforementioned business. The sign consists of individual channel letters mounted onto a backer panel, painted to match the existing building.
- Projecting Sign: One projecting sign measuring 53 inches tall by 32 inches wide on the east side of the property, reading "Mission Valley Bank" and featuring the logo of the aforementioned business.
- PL3. No other signage is included in this approval.
- PL4. The proposed signs shall be developed in conformance with the approved plans on file with the Planning Division. Any changes, additional signage, or corporate branding shall be subject to further review by the Director of Community Development.
- PL5. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the UDC not addressed above. The applicant shall comply

with all standards of all the other affected divisions of the City of Santa Clarita and all other affected agencies.

- PL6. The applicant shall obtain all necessary permits from the Building and Safety Division.
- PL7. No exposed or open neon is permitted.
- PL8. Exposed conduit shall be prohibited.

Should you have any questions regarding this approval, please contact me at (661) 255-4915 or by email at kirvin@santa-clarita.com.

Sincerely,



Kendall Irvin
Planning Technician

Project Location:
Montecello Apartments
VTC Square
26701 McBean Parkway
Valencia, CA
91355

Property Owner:
JSB Development

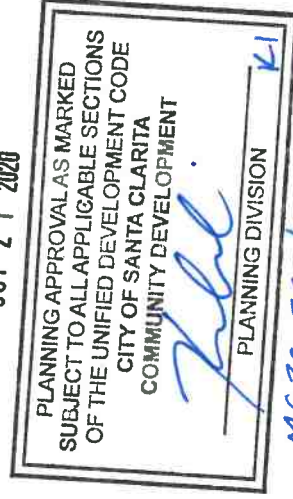
Contact:
27451 Tournay Road
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Valencia, CA
91355
Tel: 661.255.3275
Email: .com

Fabricator / Contractor:
Image Factor, Inc.
Contact: Cary Llewelyn
29005 Avenue Penn
Valencia, CA
91355
Tel: 661.295.0624
Email: cary@imagefactor.com

THE OFFICES AT MONTICELLO

MONTICELLO COMMERCIAL TENANT SIGNAGE
REVISED 10/12/20

OCT 21 2020



SITE PLAN
Montcello Apartments - VTC Square
26701 McBean Parkway
Valencia, CA
91355

Revised 10/12/20

NTS
Drawn by
FW



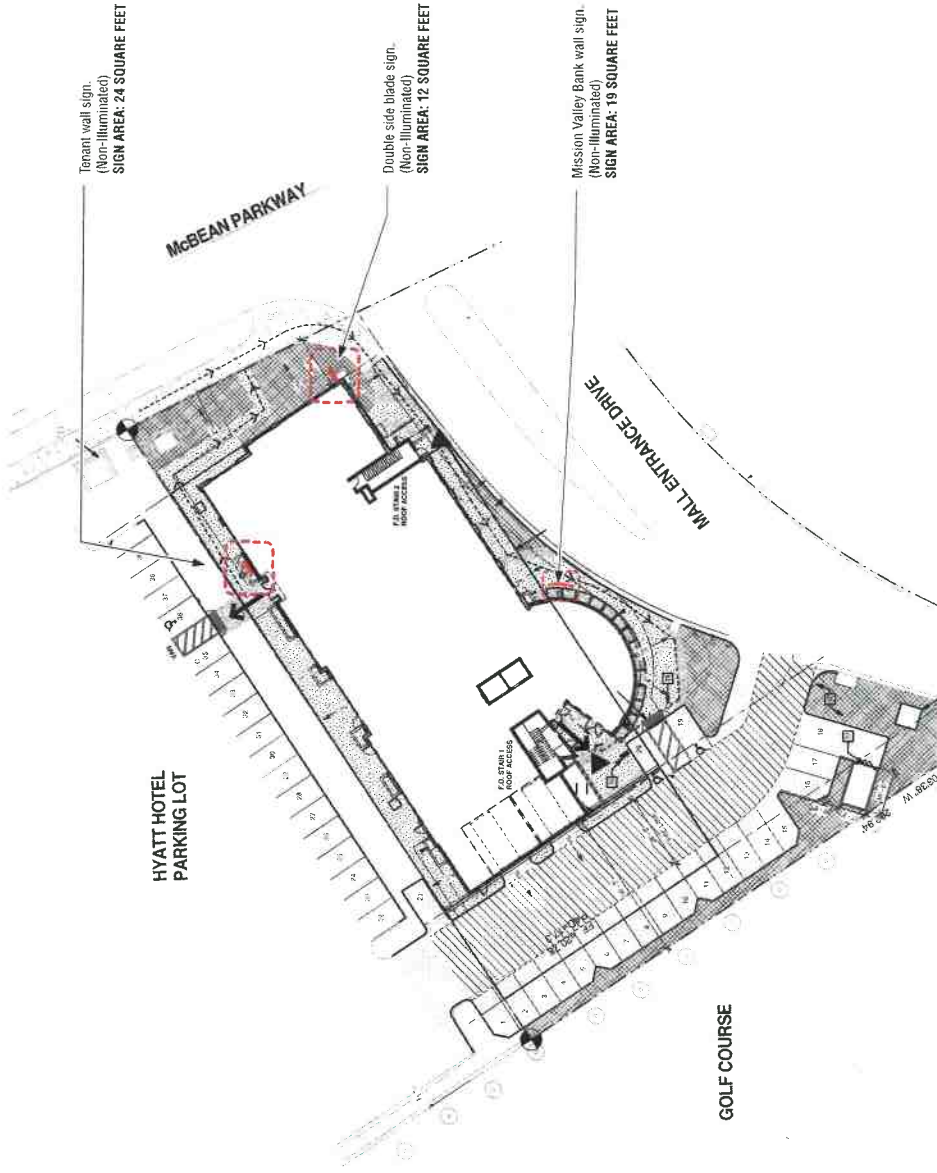
imagefactor

25005 Avenue Perrin
Valencia, California

91355
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CONSULTATION
DESIGN
FABRICATION



SITE PLAN

BLADE SIGN ELEVATION
Monticello Apartments - VTC Square
Valencia, CA
91355

Revised 10/12/2020

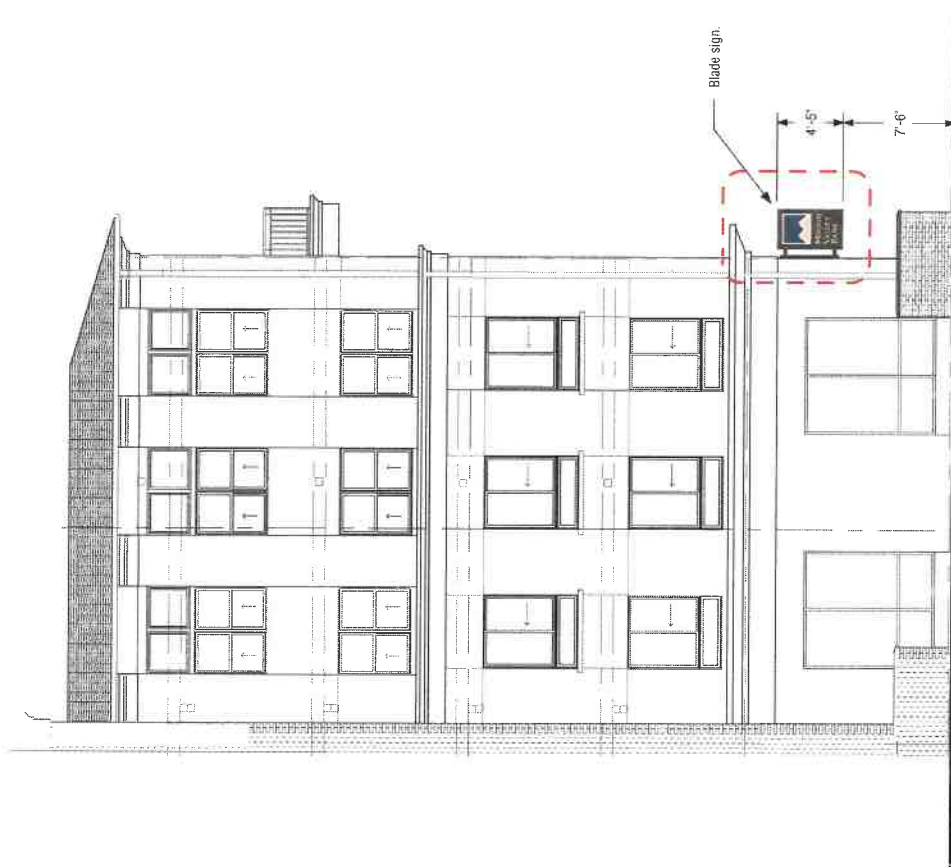
1/8" = 1'-0"
RW

imagefactor
CALIF #1022264

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91355
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f. 661.295.0628
imagefactor.com



CONSULTATION
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FABRICATION



PARTIAL S.E. ELEVATION

SIGN AREA: 12 Square feet

TENANT BLADE SIGN
Monticello Apartments - VTO Square
26701 McBean Parkway
Valencia, CA 91355

Revised 10/12/2020

Scale
1" = 1'-0"
Drawn by
PW

CSLB #10223M4

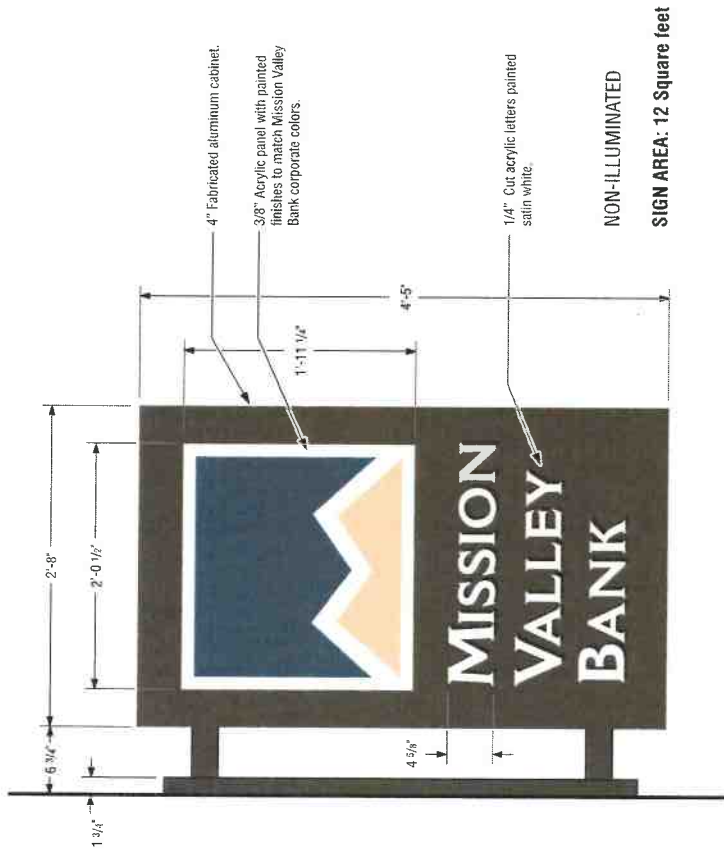
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91355

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DOUBLE FACE BLADE SIGN ELEVATION

SCALE: 1" = 1'-0"

TENANT SIGN ELEVATION
Monticello Apartments - VTC Square
26701 McBean Parkway
Valencia, CA 91355



9/29/2020



1/8" = 1'-0"



FW



CELL# F1022294

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28005 Avenue Penn

Valencia, California

91355

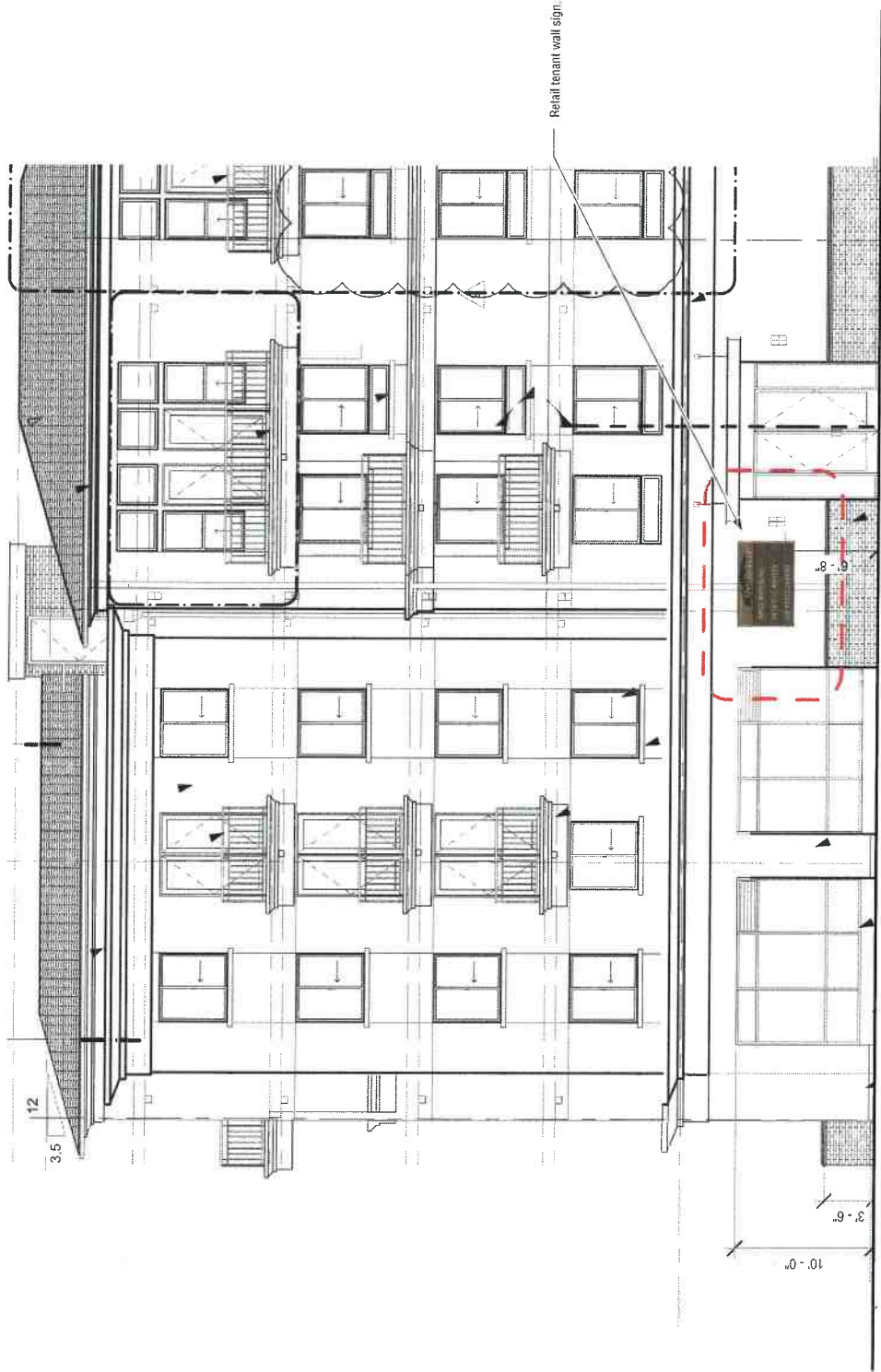
T 661.295.0624

F 661.295.0626

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PARTIAL N.W. ELEVATION

TENANT WALL SIGN ELEVATION

Monticello Apartments - VTC Square
 26701 McBean Parkway
 Valencia, CA 91355



9/28/2020



3/4" = 1'-0"



PW



DATE PLOTTED: 9/28/2020

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29005 AVENUE PLAIN
 VALENCIA, CALIFORNIA
 91355

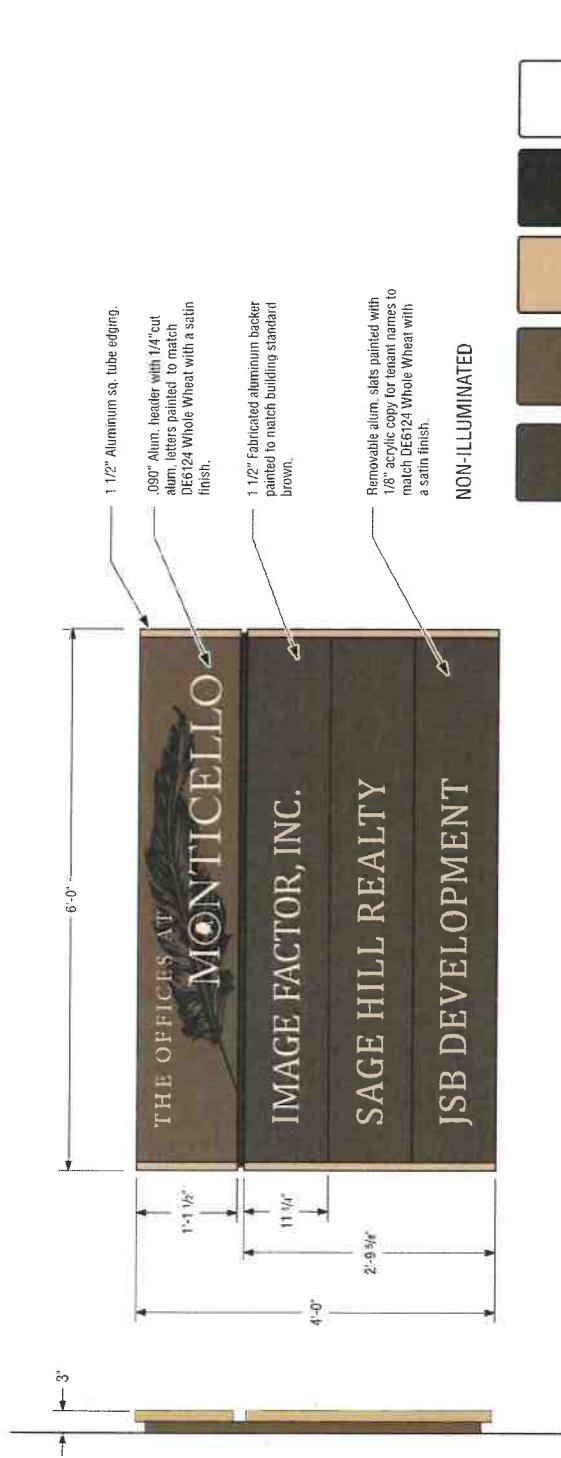
T. 661.286.0624

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NON-ILLUMINATED

TENANT SIGN SECTION

TENANT SIGN ELEVATION

SCALE: 3/4" = 1'-0"

MISSION VALLEY BANK ELEVATIONS

Monticello Apartments - VTC Square
26701 McBean Parkway
Valencia, CA
91355



RV



CSLS 0 #163294

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25005 Avenida Poma
Valencia, California

91355

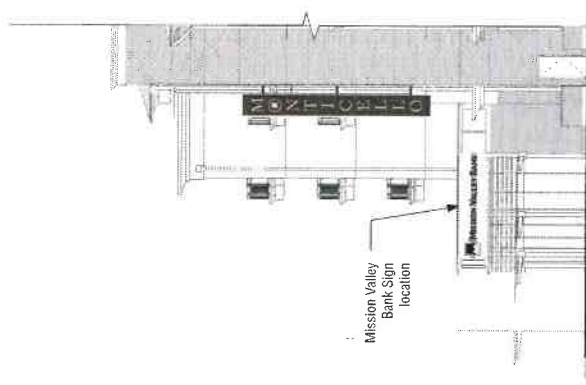
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f. 651.295.0628

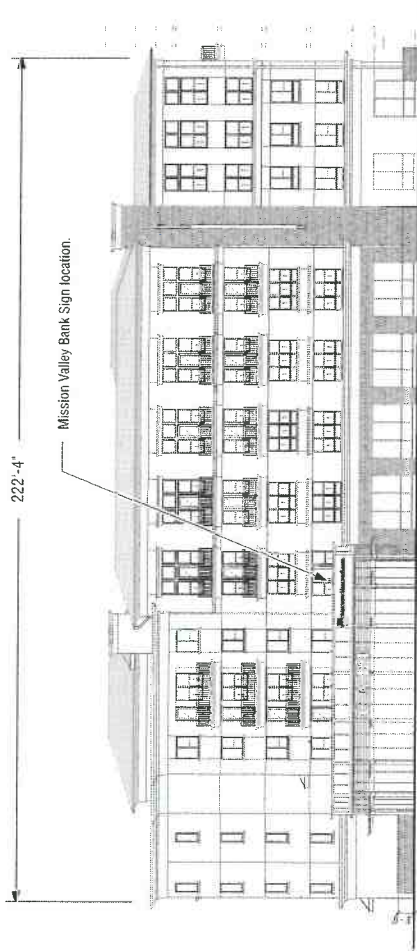
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NORTH EAST ELEVATION



SOUTH EAST ELEVATION

SIGN AREA: 19 SQUARE FEET

MISSION VALLEY BANK SIGN ELEVATION

Mission Valley Bank - VTC Square
 26701 McBean Parkway
 Valencia, CA
 91355



9/28/20

1/2" = 1'-0"



rw



CSLB #UC23284



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25045 Avenue Palms

Valencia, California

91355

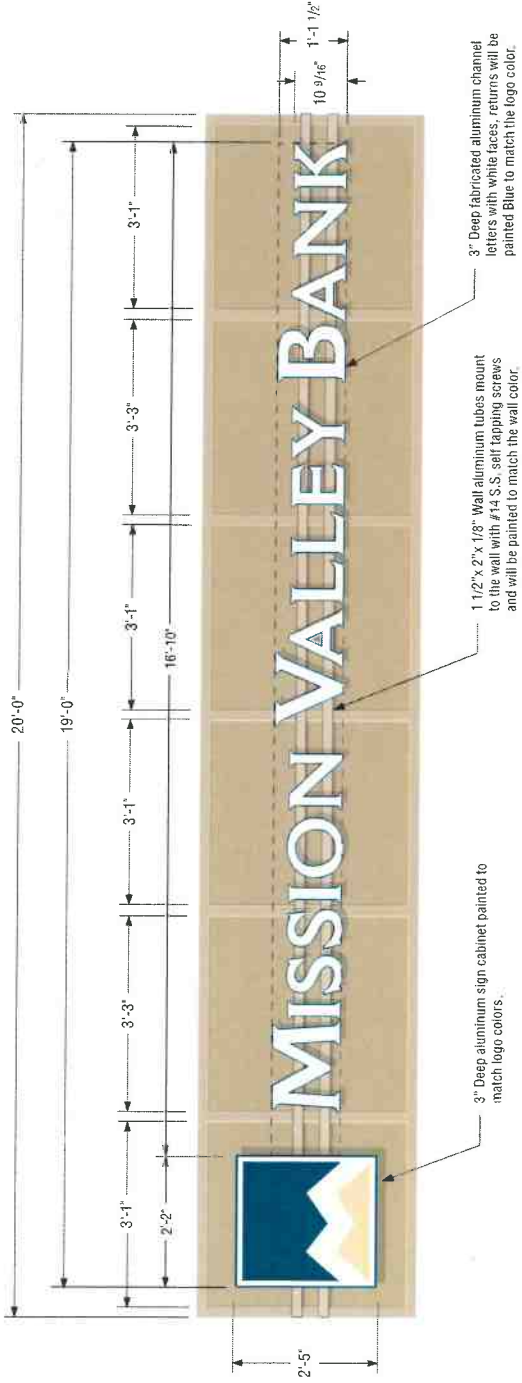
T: 661.295.0624

F: 661.295.0628

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CONCEPT
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 FABRICATION



SIGN ELEVATION

SIGN AREA: 19 SQUARE FEET

ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE FABRICATION



TYPICAL LETTER SECTION

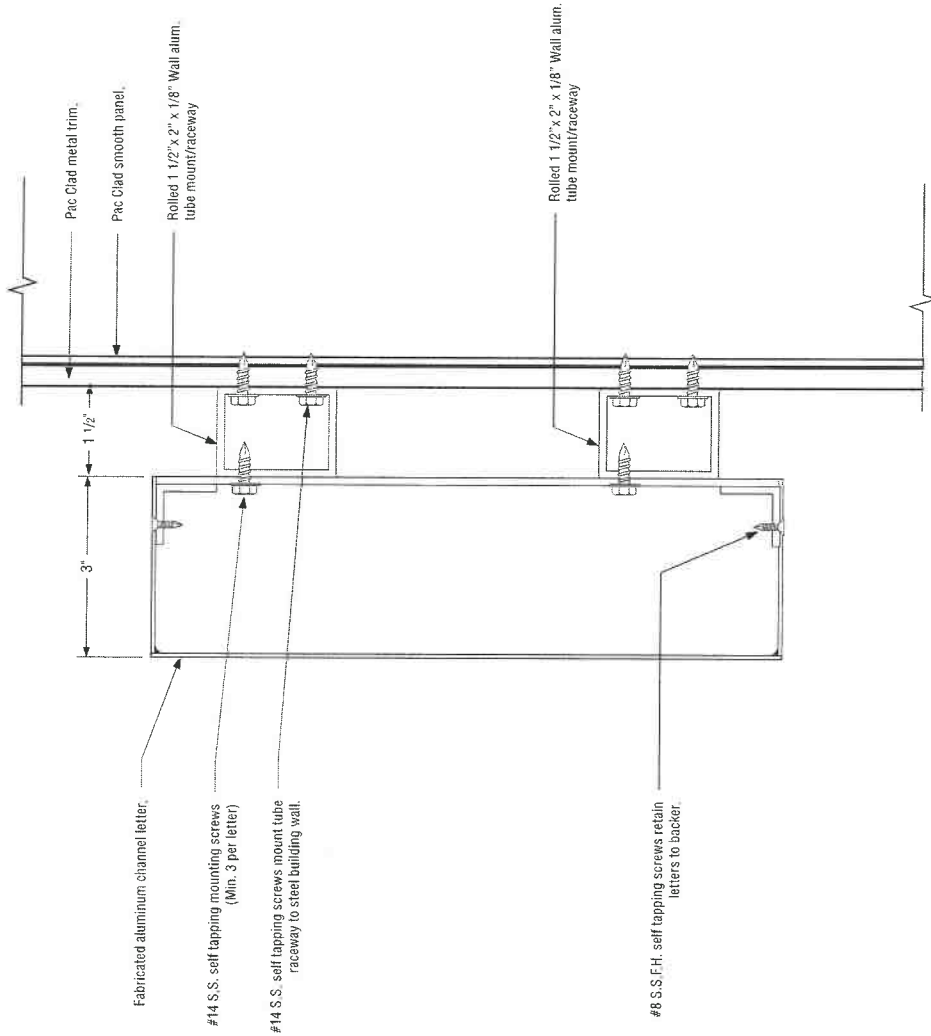
Mission Valley Bank - VTC Square
25701 McBean Parkway
Valencia, CA 91356

9/28 / 2020

CSLR #1023884
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CONSULTATION
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TYPICAL LETTER SECTION