



City of  
**SANTA CLARITA**

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**CITY OF SANTA CLARITA  
COMMUNITY DEVELOPMENT DEPARTMENT  
MASTER CASE NO. 20-093  
SIGN REVIEW 20-013  
PER CODE SECTION 17.23.190 OF THE  
UNIFIED DEVELOPMENT CODE**

**Date:** July 22, 2020

**Applicant:** Rye Canyon Industrial LLC  
18751 Ventura Boulevard, Suite B-100  
Tarzana, CA 91356

**Location:** 27502 Rye Canyon Road  
Assessor's Parcel No. 2866-008-001

**Request:** The applicant is requesting a Sign Review to implement a Master Sign Program for Rye Canyon Business Center, a multitenant building at 27502 Rye Canyon Road. The subject property is approximately 2.69-acres in size and is zoned Business Park (BP).

**Findings:** In granting this approval, the Director of Community Development finds that the required Burden of Proof set forth in Section 17.23.190 of the Santa Clarita Municipal Code has been met by the applicant. The Director further finds that the use is categorically exempt since it meets the criteria set forth for a Class 11 exemption, pursuant to Section 15311(a) of the California Environmental Quality Act Guidelines. This approval is granted pursuant to the following conditions.

**CONDITIONS OF APPROVAL**

GENERAL CONDITIONS

- GC1. The approval of this project shall expire if the approved use is not commenced within two (2) years from the date of this approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code (UDC).
- GC2. To the extent the use approved with this project is a different use than previously approved for the property, the prior approval shall be terminated along with any



associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The use shall not be re-established or resumed after the one hundred eighty (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.

- GC3. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than sixty (60) days prior to expiration.
- GC4. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within thirty (30) days of said change.
- GC5. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul the approval of this project by the City, including any related environmental approvals. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant. If the City fails to notify the applicant or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) the City bears its own attorneys' fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC6. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC7. The applicant and property owner shall comply with all inspections requirements as deemed necessary by the City of Santa Clarita.
- GC8. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances including, but not limited to, the California Building Code (Building, Mechanical, Plumbing, Electrical, Green Building, and Energy Codes), Fire Code, Unified Development Code (Grading Code and Undergrounding of Utilities Ordinance), Utilities Code (Sanitary Sewer and Industrial Waste Ordinance), and Highway Permit Ordinance.
- GC9. This grant shall not be effective for any purpose until the applicant has filed with the Director of Community Development, their affidavit (Acceptance Form) stating that they are aware of, and agree to accept, all of the conditions of this grant.



- GC10. Details shown on the site plan are not necessarily approved. Any details which are inconsistent with the requirements of state or local ordinances, general conditions of approval, or City policies and not modified by this permit must be specifically approved.
- GC11. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

#### PLANNING DIVISION

- PL1. The applicant shall be permitted to implement a Master Sign Program (MSP) for Rye Canyon Business Center, a multitenant building at 27502 Rye Canyon Road (Assessor's Parcel No. 2866-008-001).
- PL2. All future signs shall be developed in conformance with the approved plans on file with the Planning Division for Master Case No. 20-093 (Sign Review 20-013). Any changes shall be subject to further review and approval by the Director of Community Development.
- PL3. Tenant signage shall be in compliance with the tenant sign location and size allowances described in the MSP.
- PL4. No tenant shall be allowed more than one sign per elevation, unless otherwise permitted in the MSP.
- PL5. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
- PL6. The signs shall not be located in such a manner as to impede traffic or sight visibility.
- PL7. No exposed or open neon is allowed.

If you have any questions regarding this application, I can be reached at (661) 255-4330 or by email at [kirvin@santa-clarita.com](mailto:kirvin@santa-clarita.com).

Sincerely,



Kendall Irvin  
Planning Technician

**Project Location:**

25700 Rye Canyon Road  
Valencia, CA  
91355

**Property Owner / Management:**

Aspen Management  
Contact: Ron Berndt  
18751 Ventura Blvd.  
Suite B-100  
Tarzana, CA  
91356  
Tel: 818.344.2544  
Email: rberndt@aspencompanies.net

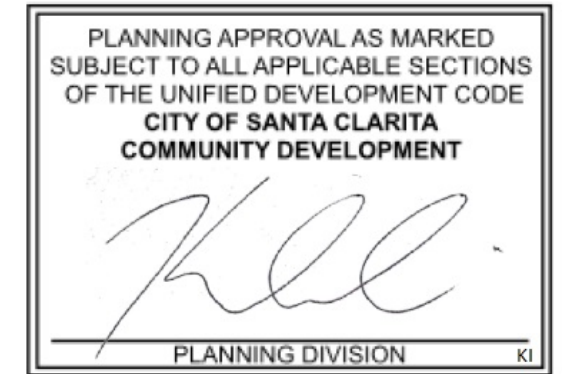
**Planned Sign Program By:**

Image Factor, Inc.  
Contact: Cary Llewelyn  
29005 Avenue Penn  
Valencia, CA  
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Tel: 661.295.0624  
Email: cary@imagefactor.com

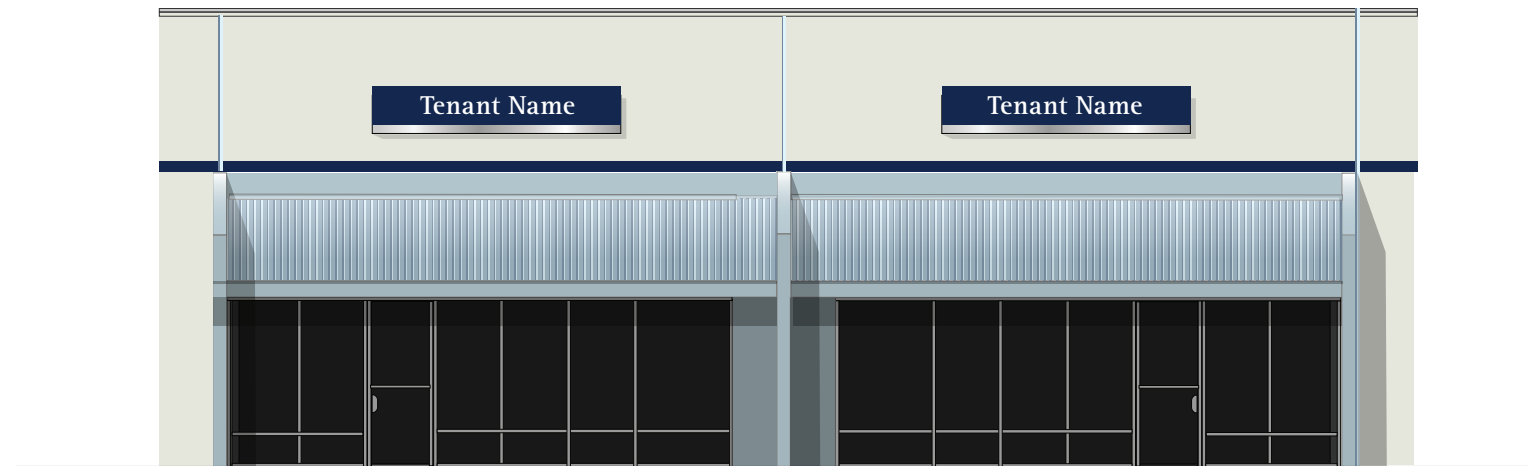
**Planning / Bldg. Department:**

City of Santa Clarita  
23920 Valencia Blvd.  
Santa Clarita, CA  
91355  
Tel: 818.259.8125

**APPROVED**  
By Kendall Irvin at 11:05 am, Aug 14, 2020



MC20-093/SR20-013



PROPOSED SIGN PROGRAM  
25700 RYE CANYON ROAD  
May 27, 2020



# RYE CANYON BUSINESS CENTER

25700 Rye Canyon Road  
Valencia, CA 91355

## PLANNED SIGN PROGRAM


May 27, 2020

Prepared for:

**Aspen Management**  
18751 Ventura Blvd.  
Suite B-100  
Tarzana, CA  
91356

Contact: Ron Berndt  
Tel: 818.344.2544  
Email: rberndt@aspenco.com

Prepared by:

**imagefactor**   
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Contact: Gary Llewelyn  
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Send: cary@imagefactor.com

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# RYE CANYON BUSINESS CENTER

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**PURPOSE AND INTENT**  
**MAINTENANCE**  
**LANDLORD SIGNAGE APPROVAL**  
**UNCERTAINTY OF SIGN STANDARDS**  
**COMPLIANCE REQUIREMENTS**  
**GRANDFATHERING OF EXISTING SIGNAGE**  
**TENANT'S RESPONSIBILITY UPON VACATING**

## PURPOSE AND INTENT

The purpose and intent of this planned sign program is to implement general sign guidelines through regulation of sign types, size, placement, design and illumination. All signage should improve the physical image of the project and not create visual clutter. Although these guidelines limit the amount of signage, they also recognize the need for businesses to communicate with the public through well thought-out building signage.

## MAINTENANCE

All signage shall be maintained in an as-new condition, any deficiencies shall be immediately corrected by the party responsible for said sign.

## LANDLORD SIGNAGE APPROVAL

All tenant signage must have written approval from the landlord:

**Approval Process:** Tenants will be required to submit drawings to the City of Santa Clarita to ensure consistency with this approval. Signage which expands or alters the limits approved with this Master Sign Program may be subject to additional review from the city. For landlord approval please submit signage information on the provided tenant sign form along with a drawing that shows the layout of your lettering and or logo, please note that the drawings must comply with the specifications listed in these guidelines. Once the landlord and the City of Santa Clarita has approved the tenant's signage submittal, the tenant may proceed to have their sign company fabricate and install their lettering and or logo on the existing tenant panels.

## UNCERTAINTY OF SIGN STANDARDS

If a situation arises that is not covered by these sign guidelines, the sign applicant should contact the Landlord for clarification and determination, the Landlord will approve signing that best meets the intent of the project / sign program.

## COMPLIANCE REQUIREMENT

No person shall erect, reerect, construct, enlarge, move, improve, convert or equip any sign or sign structure, or cause or permit the same to be done contrary to or in violation of any of the provisions of this Planned Sign Program. Conformance will be strictly enforced by Landlord and the City of Santa Clarita. All non-conforming or unapproved sign(s) that are installed after the date of this planned sign program must be brought into conformance, any and all costs will be the responsibility of the person(s) responsible for the sign(s).

## GRANDFATHERING OF EXISTING SIGNAGE

There is not any existing signage on this project.

## TENANT'S RESPONSIBILITY UPON VACATING

Upon vacating, all tenants will be responsible for the removal of their sign lettering from the tenant sign panel on the building and on the monument. When this process is completed this work will be inspected by the landlord / owner of the property. If the work is not up to par, the tenant will be responsible to make all corrections until it is approved. If the tenant does not remove signage, the landlord / property owner has the right to have this work done and back charge the tenant for this work.

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**DESIGN CRITERIA  
GENERAL SIGN STANDARDS  
ACCEPTABLE MATERIALS FOR SIGNAGE  
UNACCEPTABLE SIGNAGE  
SIGNAGE DESCRIPTION**

## DESIGN CRITERIA & GENERAL SIGN STANDARDS

- (1) Sign area is defined as the entire area within a perimeter defined by a continuous line composed of right angles which encloses the extreme outer limits of lettering, logos and or trademarks, this does not include the building standard tenant panel that the lettering and or logos get attached to.
- (2) All paint on aluminum or acrylic shall be a high quality satin polyurethane.
- (4) All signs attached to the project standard sign panels shall consist of dimensional letters / logos.
- (5) There will be no illuminated signs allowed on this project.
- (6) All lettering and or logos shall be attached with 3M VHB tape and 100% Silicone, there will be no drilling into the project standard sign panels, if a tenant drills holes into the project standard sign panels they will be responsible for replacing these panels once they vacate.

## ACCEPTABLE MATERIAL FOR TENANT LETTERING AND OR LOGOS

The following list of materials may be used to fabricate tenant lettering and or logos:

- (1) Solid hard acrylic (no PVC or ABS materials shall be allowed)
- (2) Paint: All paint to be satin polyurethane.

## UNACCEPTABLE SIGNAGE

The following sign types will not be allowed:

- (1) Illuminated signs.
- (2) Banners: This applies to any banner located on a building or in the common area  
Lawn or landscaping signage: This applies to any sign located on the grass or in any landscaped area within or in front of the property
- (3) Free standing signage: This applies to any freestanding / portable signage.
- (4) Signage located behind glass: This applies to any illuminated signage located on the inside of the glass facing out. Any signage located behind the storefront glass must be set back a minimum of 5'-0" from that glass.
- (5) Vinyl lettering or digital prints on storefront glass. The only vinyl lettering allowed on the storefront glass will be business name, hours of operation and any other information as long as it does not exceed 2.5 square feet (see exhibit).

## SIGN DESCRIPTIONS

### Tenant Identification Wall Signs

These signs are provided for on-building business identification. The copy shall be limited to company name/logo and may be displayed as two lines of copy in company letter/logo style with maximum sizes as shown in this sign program. Lettering and or logos must be fabricated from 1/4" cut out acrylic with a satin polyurethane paint finish. Colors of signs will be subject to the approval of the landlord. There will be no styrofoam, vinyl or hand painted letters or logos allowed. All lettering and or logos must fall within the provided wall sign panel as depicted in the exhibit. All tenant panels must remain in the locations designated by this planned sign program. All lettering and or logos must be mounted to the provided tenant panel and follow the specifications in this planned sign program, no lettering and or logos shall be mounted directly to the building.

### Tenant Identification Monument Sign Panels

These signs are provided for individual business identification only. The copy shall be limited to company name and laid out in the project standard font. Lettering must be fabricated from 1/4" cut out acrylic with a satin polyurethane paint finish. All lettering to be painted to match the project standard color. All lettering must match the dimension shown on the exhibit.

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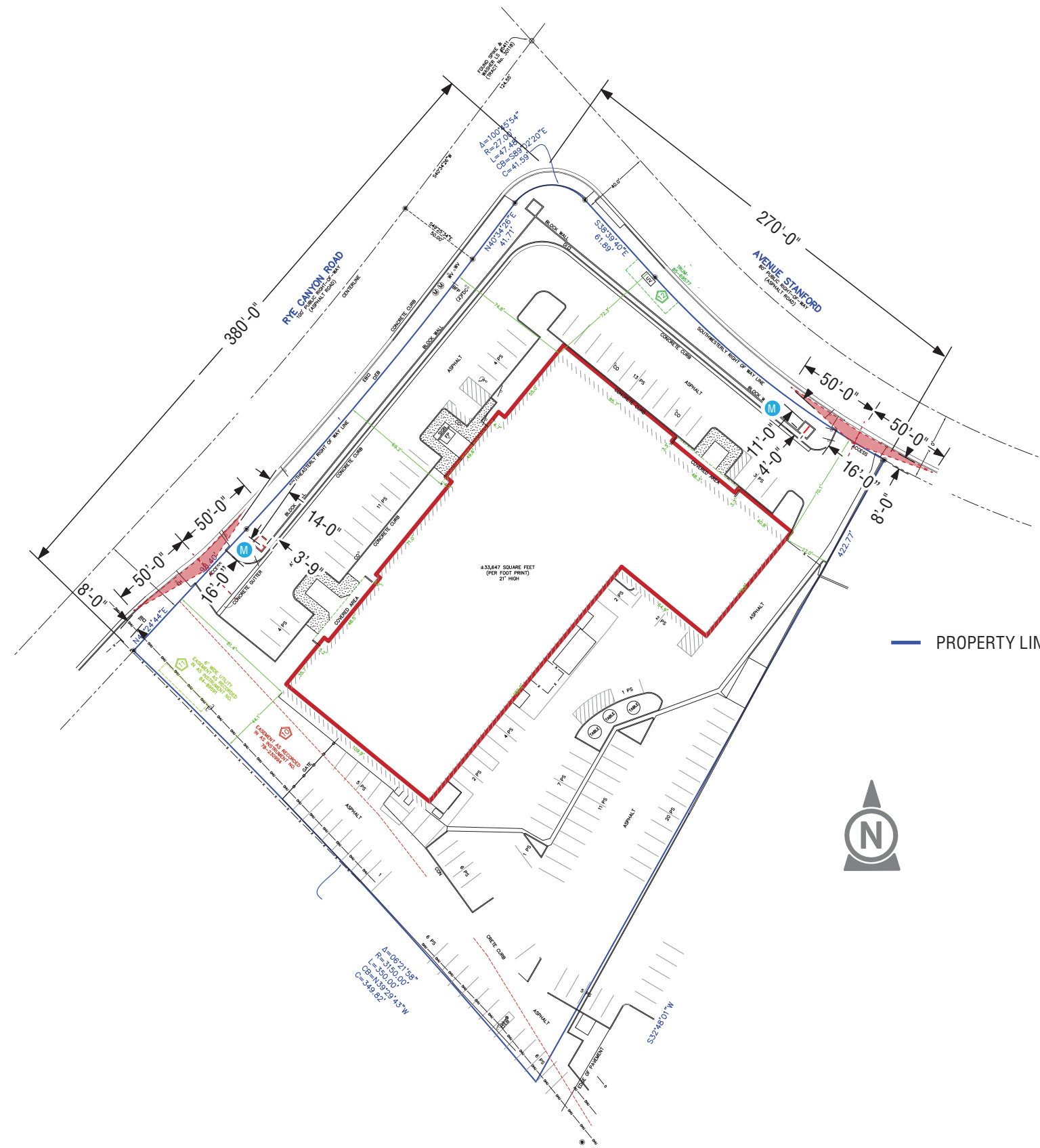
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### MONUMENT CLEAR SETBACKS AND PROPERTY LINE



SITE PLAN

SCALE: NOT TO SCALE



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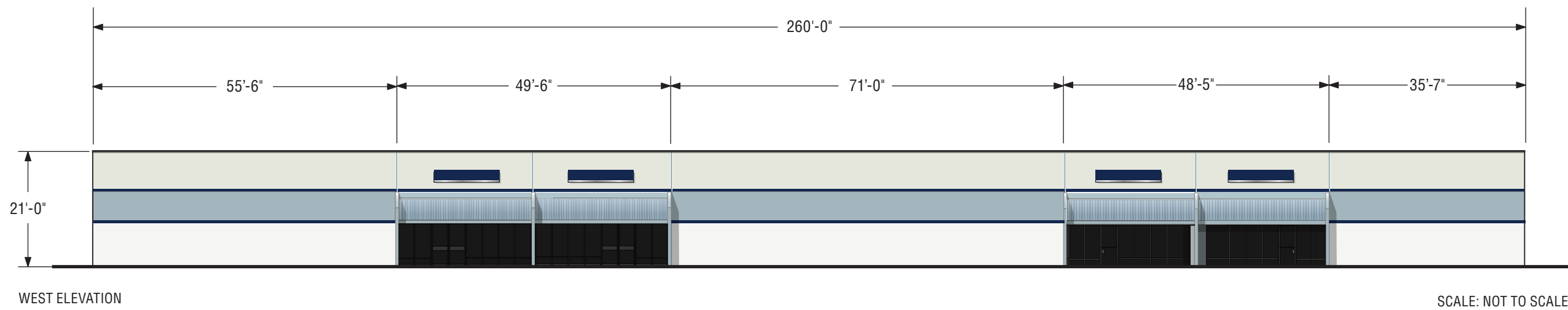
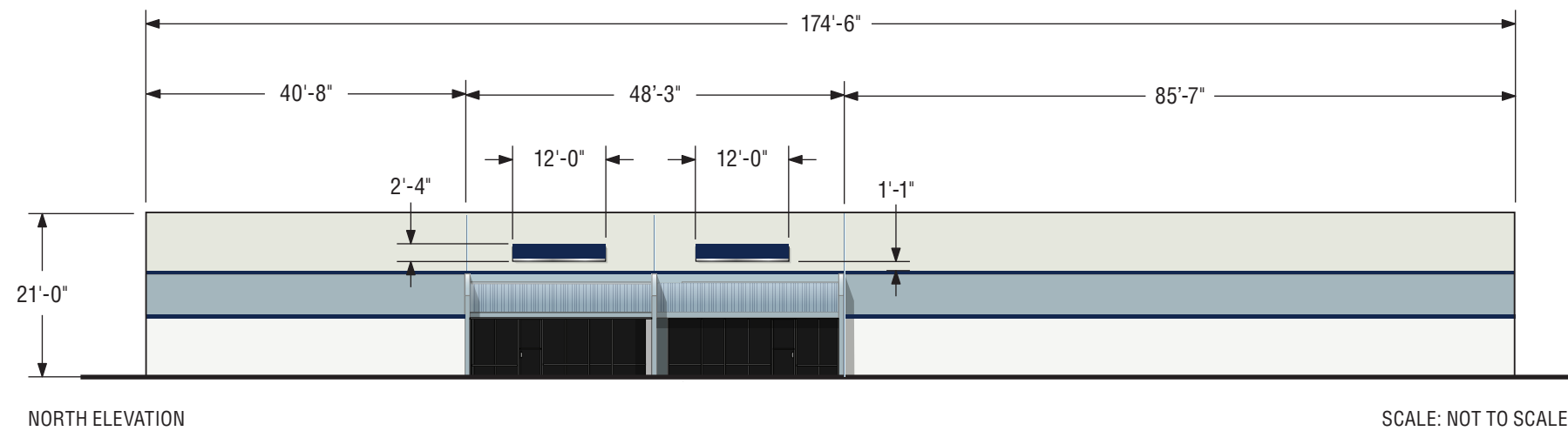
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## BUILDING ELEVATIONS

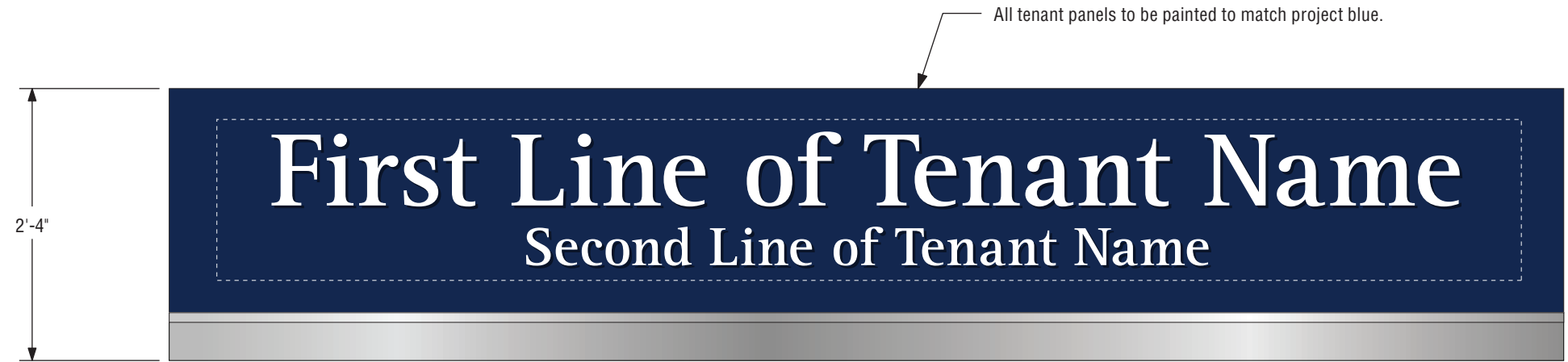


Tenant wall signs:  
(6) Total above tenant entrances.

**Sign Area: 15.50 square feet  
each (Lettering / logo)**



TENANT NAME SHOWN IN ONE LINE



TENANT NAME SHOWN IN TWO LINES



TENANT NAME SHOWN IN ONE LINE WITH LOGO

**Max. sign area for lettering and or logo combined shall not exceed: 15.50 square feet**

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**TENANT WALL SIGN EXHIBIT**

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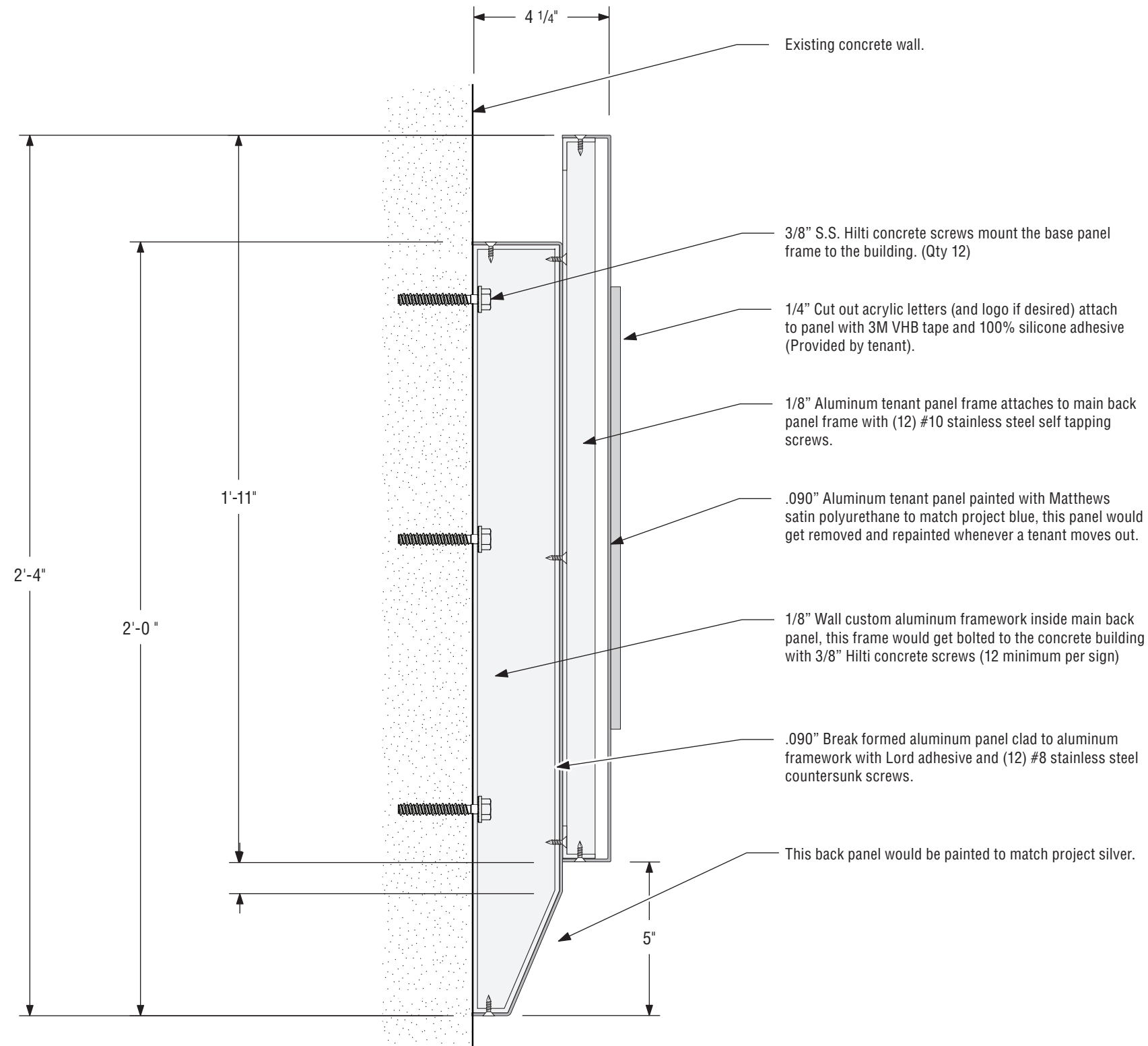
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## SECTION VIEW OF TENANT WALL SIGN



TENANT WALL SIGN SECTION

SCALE: 3" = 1'-0"

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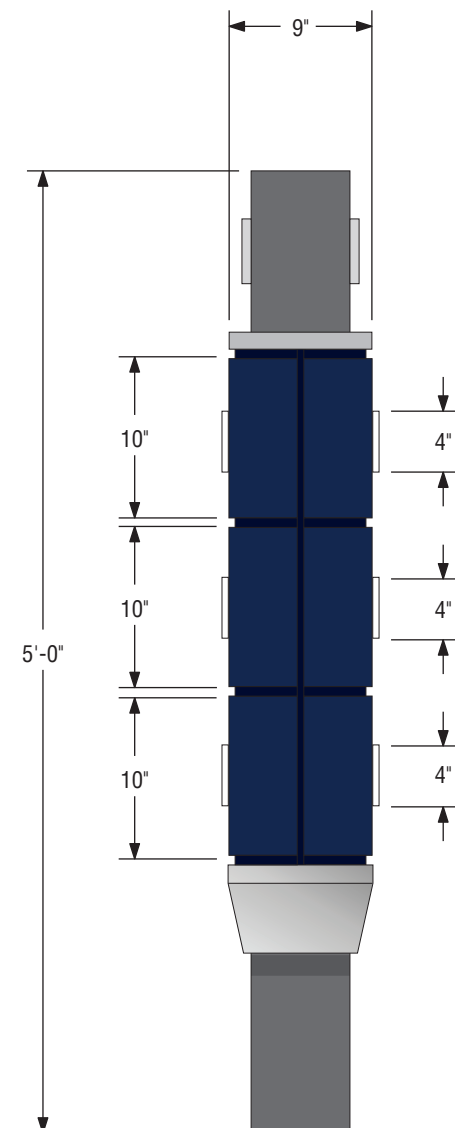
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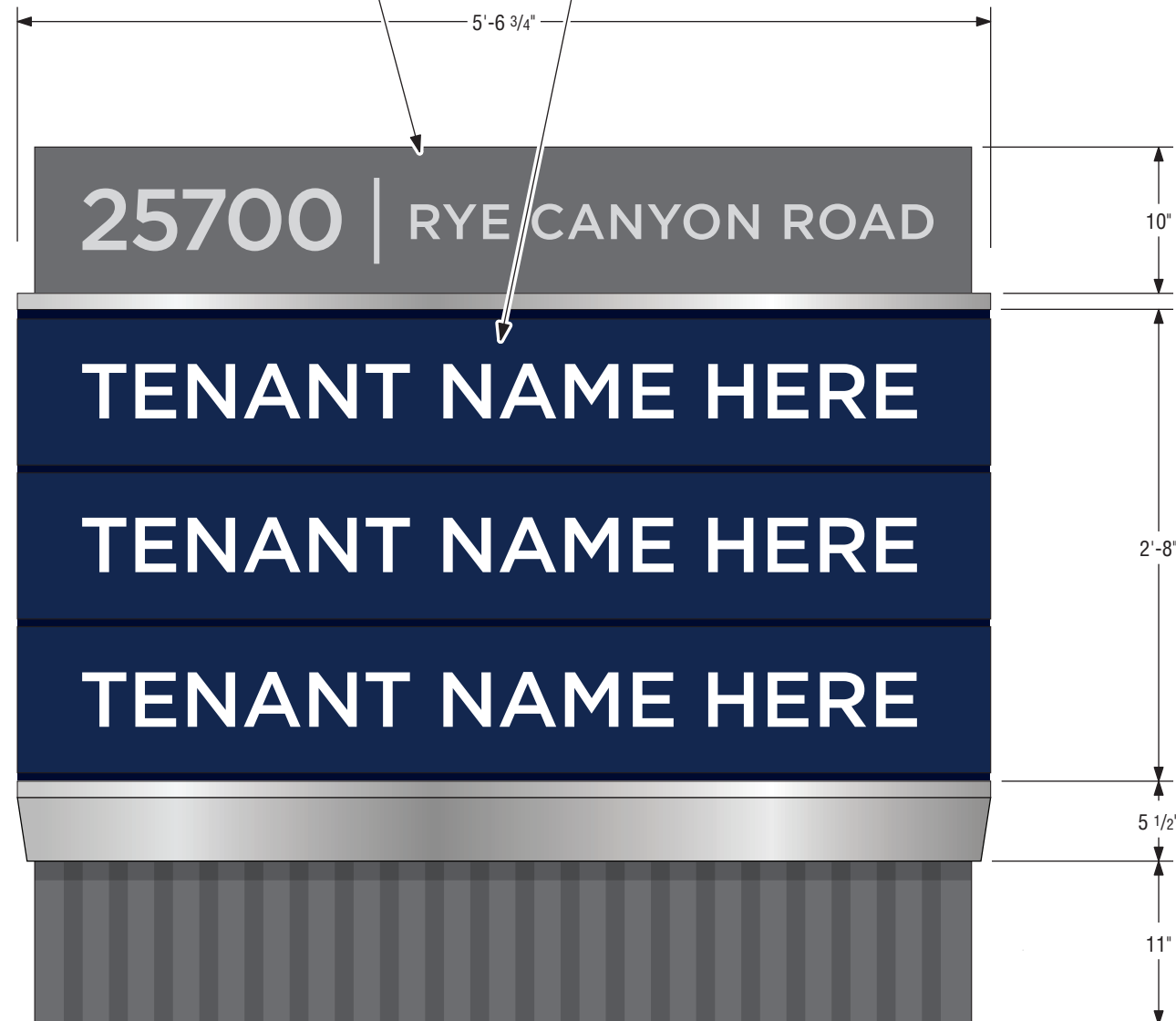
## DOUBLE SIDED TENANT MONUMENT SIGN EXHIBIT

Fabricated aluminum project / tenant monument sign with dimensional address numbers and street name.

Removable tenant panels with dimensional tenant names, all letters to be painted white, all tenant names to be displayed in project font, no logos allowed on monument signs.



PROJECT / TENANT MONUMENT SIGN SECTION



PROJECT / TENANT MONUMENT SIGN ELEVATION

SCALE: 1" = 1'-0"



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## SITE PHOTOS



VIEW LOOKING NORTH EAST UP RYE CANYON AT DRIVEWAY ENTRANCE



TYPICAL STOREFRONT / TENANT ENTRANCE



PREVIOUS MONUMENT SIGN LOCATION AT DRIVEWAY OFF OF RYE CANYON



PREVIOUS MONUMENT SIGN LOCATION AT DRIVEWAY OFF OF AVENUE STANFORD





AREA PLAN

SCALE: NOT TO SCALE



Project / tenant monument signs:  
(1) at each driveway entrance.

**Sign Area: 27.99 square feet each**

Tenant wall signs:  
(6) Total above tenant entrances.

**Sign Area: 15.50 square feet each (Lettering / logo)**



SITE PLAN

SCALE: NOT TO SCALE

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## PROJECT SITE PLAN