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City of  
**SANTA CLARITA**

January 9, 2007

Sign A Rama  
23120 Lyons Ave.  
Santa Clarita, CA 91321

RE: Master Case 06-256; Sign Review 06-027

To Whom It May Concern:

Your Sign Review has been granted approval. The Planning Division has reviewed your application and found it to be in substantial conformance with the City's Unified Development Code and General Plan.

The above referenced project was granted approval on January 9, 2007. A project of this nature has an appeal period of 15 days. Should you have any questions regarding this approval and choose to appeal any or all of the conditions and requirements of your project, you must formally request an appeal in writing stating the basis of the appeal, along with the appropriate appeal fee. The Planning Commission Secretary must receive the appeal by 5:00 PM on Wednesday, January 24, 2007. Once the appeal period has lapsed, all action on this project is final.

Attached, please find the Conditions of Approval and an Acceptance Form. Please review the Conditions and sign, notarize and return the Acceptance Form to the project planner within 15 days.

Thank you for all of your assistance on this project. Should you have any questions regarding this approval or the appeal process, I can be reached at (661) 255-4330.

Sincerely,

Mike Marshall  
Assistant Planner II

ATTACHMENT  
S:\CD\CURRENT\2006\06-256 (SR06-027)\06-256 Approval Letter.doc



CITY OF SANTA CLARITA  
Master Case Number 06-256  
Sign Review 06-027  
Per Code Section 17.19  
of the Unified Development Code

Date: January 9, 2006

Applicant: Sign A Rama  
23120 Lyons Ave.  
Santa Clarita, CA 91321

Request: The applicant is requesting approval of the Bouquet Center sign program for the Bouquet Commercial Center located on the northeast corner of Newhall Ranch Road and Bouquet Canyon Road. The project site is zoned CC (Community Commercial), in the City of Santa Clarita.

Findings: The Community Development Department has determined that the applicant's request is a reasonable and conforming use of the property along with the application of conditions of approval. The determination has been made that the principles and standards required by the Unified Development Code have been applied to this decision. Therefore, this sign review proposal is approved, subject to the following conditions:

CONDITIONS OF APPROVAL / MITIGATION MEASURES

GENERAL

- GC1. The approval of this project shall expire if not put into use within one (1) year from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code.
- GC2. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than sixty (60) days prior to expiration.

- GC3. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.
- GC4. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attach, set aside, void, or annul the approval of this Project by the City, which action is provided for in Government Code Section 66499.37. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this Condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) The City bears its own attorneys' fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC5. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC6. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC7. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC8. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must be returned to the Planning Division before approval is granted.
- GC9. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

PL1. The applicant is granted approval for the proposed sign program for the Bouquet Center, subject to the following conditions of approval and the sign program on file with the Community Development Department.

*Monument Signs*

PL2. Prior to the installation of proposed monument signs, the applicant shall remove existing monuments identified in the Bouquet Center sign program as signs A, B, and C as proposed.

PL3. The applicant shall have permission to install a total of three (3) monument signs on the project site in accordance with the approved sign program. One (1) monument sign identified as "Small Monument Design" shall be permitted at the entrance on Newhall Ranch Road and one (1) monument sign identified as "Main Monument Design" shall be permitted at each of the two southernmost entrances along Bouquet Canyon Road. All monument signs shall be developed in accordance with the Bouquet Center sign program (Attachment A) and the following:

- a. The monument sign, identified on the sign program as "Main Monument Design, shall identify "Bouquet Center" and shall include a maximum of six (6) tenants. The monument sign shall not exceed six feet (6'-0") in height and shall not exceed twenty feet (20'-0") in width. A maximum of 32 square feet of sign area shall be provided for tenant signage.
- b. The monument sign, identified on the sign program as "Small Monument Design" shall identify "Bouquet Center" and shall include a maximum of three (3) tenants. The monument sign shall not exceed seven and one half feet (7'6") in height and shall not exceed ten feet (10'0") in width. A maximum of twenty-four (24) square feet of sign area shall be provided for tenant signage.

*Major Tenant Signage (20,000 SF to 39,999 SF)*

PL4. The major tenant (Building E) shall be permitted to install one (1) wall sign and two (2) supplemental wall signs along the main (west) elevation. Major tenant signage shall be developed in accordance with the Bouquet Center sign program (Attachment A) and the following:

- a. Primary Wall Sign (facing parking lot):
  - i. The sign shall consist of a single line of text.
  - ii. The maximum allowable height shall not exceed sixty (60") inches.

- iii. The maximum allowable width shall not exceed three hundred-twelve (312") inches.
- iv. The maximum allowable area shall not exceed one hundred thirty (130) square feet.
- b. Supplemental Wall Signs (facing parking lot):
  - i. Each sign shall consist of a single line of text.
  - ii. The maximum allowable height shall not exceed twenty four (24") inches.
  - iii. The maximum allowable width shall not exceed seventy two (72") inches.
  - iv. The maximum allowable area for each supplemental wall sign shall not exceed twelve (12) square feet.
  - v. Accessory signs are not allowed.

PL5. The major tenants (Buildings G and H) shall be permitted to install one (1) primary wall sign along the main (west) elevation of each tenant space. Major tenant signage shall be developed in accordance with the Bouquet Center sign program (Attachment A) and the following:

- a. Primary Wall Sign (facing parking lot):
  - i. Each sign shall consist of a single line of text.
  - ii. The maximum allowable height shall not exceed sixty (60") inches.
  - iii. The maximum allowable width shall not exceed two hundred eighty eight (288") inches.
  - iv. The maximum allowable area shall not exceed one hundred twenty (120) square feet.
  - v. Accessory signs are not allowed.

#### *Shop Tenant Signage*

PL6. Shop tenant (Buildings A, D, F, I, J and K) signage shall be developed in accordance with the Bouquet Center sign program (Attachment A) and the following:

- a. Primary Wall Signs (facing parking lot)
  - i. One (1) shop tenant primary wall sign per unit shall be allowed on elevations facing the parking lot.
  - ii. Single line of text: The maximum allowable letter height shall not exceed twenty-four (24") inches if letters are all the same size. For logo graphics and first letter of text, the maximum allowable height shall not exceed thirty (30") inches.
  - iii. Double line of copy: The maximum allowable height shall not exceed thirty-six (36") inches for two lines of copy.
  - iv. The maximum allowable width shall not exceed seventy five (75%) percent of each linear foot of unit frontage.

- v. The maximum allowable area shall not exceed one and one half (1.5) square feet for every one (1) linear foot of unit frontage.
- b. Secondary Wall Signs
  - i. One (1) shop tenant secondary sign per unit shall be allowed on each elevation facing a street for a total of three signs.
  - ii. Single line of text: The maximum allowable letter height shall not exceed twenty-four (24") inches if letters are all the same size. For logo graphics and first letter of text, the maximum allowable height shall not exceed thirty (30") inches.
  - iii. Double line of copy: The maximum allowable height shall not exceed thirty-six (36") inches for two lines of copy.
  - iv. The maximum allowable area shall not exceed fifty (50%) percent of the maximum allowable sign area of primary signage.

*Pad Tenant Signage*

PL7. Pad tenant signage (Building B) shall be developed in accordance with the Bouquet Center sign program (Attachment A) and the following:

- a. Primary Wall Sign:
  - i. Single line of text: The maximum allowable letter height shall not exceed thirty-six (36") inches on the east elevation.
  - ii. Double line of copy: The maximum allowable height shall not exceed thirty-six (36") inches for two lines of copy.
  - iii. The maximum allowable width shall not exceed seventy-five (75%) percent of each linear foot of unit frontage.
  - iv. The maximum allowable area shall not exceed one and one half (1.5) square foot for each linear foot of unit frontage.
- b. Secondary Wall Signs:
  - i. Single line of text: The maximum allowable letter height shall not exceed twenty-four (24") inches if letters are all the same size. For logo graphics and first letter of text, the maximum allowable height shall not exceed thirty (30") inches.
  - ii. Double line of copy: The maximum allowable height shall not exceed thirty-six (36") inches for two lines of copy.
  - iii. The maximum allowable area shall not exceed one and one half (1.5) square foot for each linear foot of unit frontage.
- c. No wall signs are approved for the north elevation of Building B.

- PL8. Pad tenant signage (Building C) shall be developed in accordance with the Bouquet Center sign program (Attachment A) and the following:
- a. Primary Wall Sign
    - i. Single line of text: The maximum allowable height shall not exceed thirty-six (36") inches at the south elevation.
    - ii. Double line of text: The maximum allowable height shall not exceed thirty-six (36") inches for two lines of copy.
    - iii. The maximum allowable width shall not exceed seventy-five (75%) percent of each linear foot of unit frontage.
    - iv. The maximum allowable area shall not exceed one and one half (1.5) square feet for each linear foot of unit frontage.
  - b. Secondary Wall Signs
    - i. Single line of text: The maximum allowable height shall not exceed twenty (20") inches.
    - ii. Double line of text: The maximum allowable height shall not exceed thirty-six (36") inches for two lines of copy.
    - iii. The maximum allowable area shall not exceed one and one half (1.5) square feet for each linear foot of unit frontage.
    - iv. Secondary wall signs are approved for two elevations not to exceed a total of three wall signs including the primary wall sign.
- PL9. No exposed or open neon is allowed.
- PL10. All wall signs shall consist of channel letters and individually mounted with no raceway attachments.
- PL11. The project shall be developed in substantial conformance with the approved sign program (Attachment A) on file with the Planning Division. Any changes shall be subject to the review and approval of the Director of Community Development.
- PL12. This approval does not supersede the requirements of any other affected agency or of any requirements or prohibitions in the Unified Development Code not addressed above.
- PL13. All signs shall be located in such a manner as to not impede traffic or sight visibility.
- PL14. The applicant and property owner shall comply with all inspection requirements deemed necessary by the City of Santa Clarita.
- PL15. This approval must be used within one (1) year from the date of issuance. This approval shall be considered null and void if not acted upon by January 9, 2008.

PL16. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this permit. The notarized affidavit then must be returned to the Community Development Department before approval is granted.

Should you have any questions regarding this approval, please contact me at (661) 255-4330.

Sincerely,

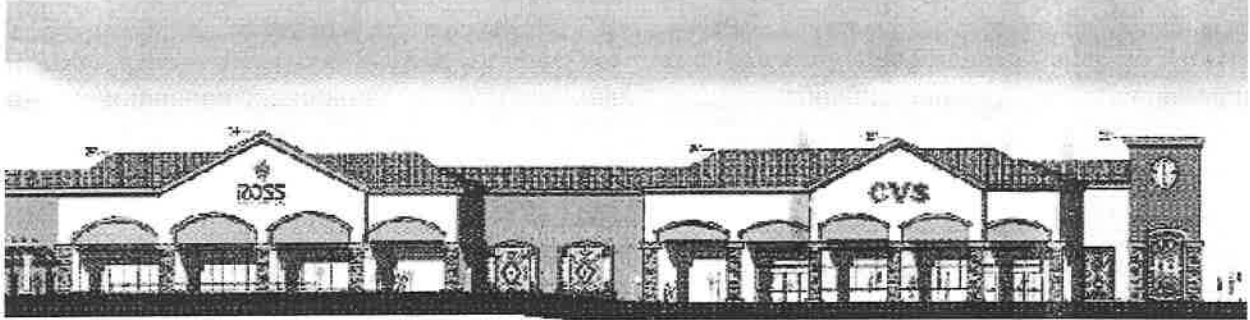
A handwritten signature in black ink, appearing to read "Mike Marshall". The signature is stylized with a large, rounded "M" and a long, horizontal stroke that ends in a loop.

Mike Marshall  
Assistant Planner II

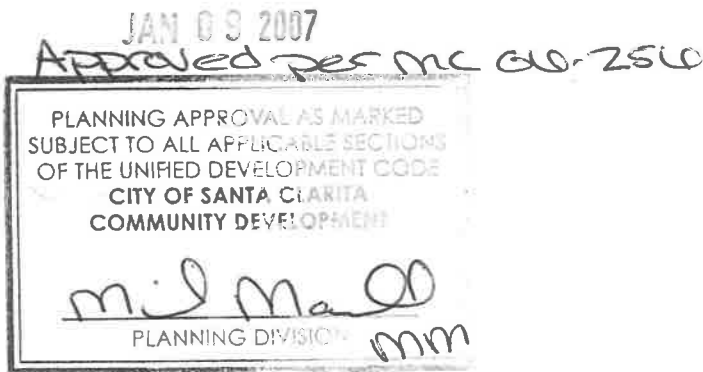


# BOUQUET CENTER

## SIGN PROGRAM



Location:  
26500-86 Bouquet Canyon Road  
Santa Clarita, CA 91350



**RECEIVED**  
PLANNING DIVISION

JAN 08 2007

CITY OF SANTA CLARITA

Sign Consultant  
SIGN A RAMA  
23120 Lyons Ave  
Santa Clarita, CA 91321

**BOUQUET SHOPPING CENTER SIGN PROGRAM**

**Bouquet canyon road, santa clarita, ca**

**Revision 1.4.0**

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## **I. DESIGN GUIDELINES-FASCIA SIGNS**

### **A) ACCEPTABLE MATERIALS, FINISHES AND EMBELISHMENTS**

- Dimensional, geometric shapes or icon representing a tenant's product or service.
- Metal or Signfoam forms.
- Painted, polished, etched, or abraded metals.
- Dimensional letterforms with seamless edges.
- Channel Letters with acrylic face

### **B) ILLUMINATION**

Illumination for tenant signage can come from one or more of the following acceptable lighting methods:

- LED
- Reverse/halo channel neon.
- Channel letters with acrylic faces.
- Silhouette illumination.
- Fiber optics.
- Internal illumination.

The following are prohibited:

- Exposed conduits.
- Electrified neon attached to glass tubing surrounds or crossbars.
- Front lighting fixtures that compete with storefront design.
- Exposed Neon

### **C) SIGN COLORS AND FINISHES**

All Tenants' colors must be approved by the Owner prior to fabrication. To assist in achieving a well-balanced blend of color throughout the center, the following guidelines are to be adhered to:

- Sign colors should be selected to provide sufficient contrast against building background colors and be compatible with them.
- Colors within each sign should be compatible.
- Sign colors should provide variety and excitement.

- Color of letter returns are required to be black, specifically Dunn Edwards No. DEA187 Black.
- Neon colors should compliment related signage elements.

#### **D) TYPESTYLES**

The use of logos and distinctive typestyles is encouraged. Tenants may adapt established typestyles, logos and/or icons that are used on similar locations operated by them in California and/or the U.S. These images must be architecturally compatible and approved by the Owner. Type may be arranged in one (1) or two (2) lines of copy and may consist of upper and/or lower case letters. Tenant signs on narrow band fascia areas will be limited to 24" in total sign height (not just letter height). Tenant signs on towers will be limited to maximum letter height of 24" and a maximum of 36" total sign height. However, the total sign area cannot exceed the allowed sign square footage area shown on the elevation. Each sign must contain the proper business name and, if acceptable, include product and services verbage.

#### **E) SIZES AND QUANTITIES**

Sizes and quantities for tenant signs shall be outlined in these criteria for each sign type. (See attached building elevations). Notwithstanding the maximum square footage specified for copy area allowances, adequate amounts of visual open space shall be provided around wall signs so that they appear balanced and in scale in relation to their backgrounds.

### **II. FABRICATION REQUIREMENTS**

The fabrication and installation of all signs shall be subject to the following restrictions:

- All signs shall be fabricated and installed with UL approved components in compliance with all applicable building and electrical codes.
- Sign manufacture shall supply a UL label in an inconspicuous location.
- As required in Santa Clarita a manufacturer's label must be affixed and visible, but should be relatively unobtrusive from normal viewing angles and not more than 8 square inches in size.
- Sign permit stickers shall be affixed to the bottom edge of signs, and only that portion of the permit sticker that is legally required to be visible shall be exposed.
- Signs shall be made of durable rust inhibited materials that are appropriate and complementary to the building.

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- F. All formed metal (i.e. letterforms) shall be fabricated using full weld construction.
- G. All signs shall be fabricated and installed with minimal visible screws, seams, rivets, or fastening devices. Finished surfaces shall be free from "oil canning" or warping.
- H. Separate all ferrous and non-ferrous metals. Stainless steel fasteners shall be used to secure ferrous to non-ferrous metals.
- I. Threaded rods or anchor bolts shall be used to mount sign letters that are spaced off from the wall or background. Mounts consist of all thread post and spacer sleeves for consistency. Spacers painted to match building color. All bolts and mounting devices shall consist of porcelain finished iron, stainless steel, aluminum or carbon bearing steel with painted finish. No black iron will be permitted. Angle clips attached to letter sides will not be permitted.

Paint colors and finishes must be reviewed and approved by the Owner. Color coatings shall match exactly the specified colors on the approved plans.

- J. Surfaces with color hues prone to fading (e.g., pastels, fluorescent, intense reds, yellows and purples) shall be coated with ultraviolet inhibiting clear coat in a matte, gloss or semi-gloss finish.

All sign finishes shall be free of dust, orange peel, drips, and runs. Finishes should have uniform coverage.

- K. Neon tubing shall be 12-13mm, EGL or equal. Neon transformers shall be 30 MA. Fluorescent lamps shall be single pin (slimline) with a minimum of 12" center to center lamp separation. All lighting must match the exact specifications of the approved shop drawings.
- L. Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks will not be permitted.

### **III. PROHIBITED SIGNS**

Only those sign types provided herein and specifically approved in writing by the Owner will be allowed. The following signs are prohibited:

- Promotional type banners (sales, products, etc.) (See Section VII Other Tenant Signage for permissible banners.)
- Outdoor advertising or advertising structures.

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- Roof Signs.
- Freestanding signs, including A-Frames, or pedestal signs.
- Animated, audible or moving signs: Signs which move, swing, rotate, flash.
- Vehicle Signs: Signs affixed or on trucks, automobiles, trailers and other vehicles which advertise, identify or provide direction to a use or activity not related to its rightful use, are prohibited. In no case can banners or any other temporary signage be affixed to vehicles or structures on the property.
- Offsite / premise signs: (other than directional signs) installed for the purpose of advertising a project, event, person or subject not related to the premises upon which said sign is located.
- Exposed neon.
- Store front neon borders.
- Any Inflatable characters including balloons.
- Parking lot signs.
- Pennants.
- Any off premises signs within one mile radius of the Center unless it is a permitted billboard.
- "Help Wanted" / employment signs.
- Signage placed on exterior store front glass.
- Interior / Exterior storefront signage not specifically approved by Landlord in writing.

#### **IV. SIGN MAINTENANCE**

All signs are expected to be maintained in good working order as well as keeping a current look, free of fading, cracks, holes, or any other items that detract from the Center's overall visual impact. The following are examples of items and situations that may occur:

- Faded acrylic

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- Faded painted areas
- Broken parts or pieces
- Loss of all or portions of illumination
- Significant reduction or “flicking” in illumination
- Holes or cracks in any portion of the sign
- Delaminating parts
- Excessive dirt, grease, grime, dust, birds nests, cobwebs, or animal debris

Once changes are made to any portion of a sign, the original look and uniformity of the sign needs to be maintained. If, by making that change, other portions of the sign appear less uniform, those portions need to be updated to match the previously changed areas of the sign.

Tenants are expected to review the premise signage periodically and take needed action as required. If in the opinion of the Landlord, more immediate action or additional action is deemed required, tenant will be given 15 days to remedy the situation to Landlord's satisfaction. Should such action not take place, Landlord will hire the appropriate contractor and bill the tenant.

## **V. SUBMITTALS & APPROVALS**

There is a formal process for the creation, review and approval of Tenant signs at Bouquet Shopping Center. All Tenants' signage is subject to the Owner's, or his managing agent's (hereinafter referred to as "Owner"), written approval. Approval will be granted based on the following:

1. Design, content, location, fabrication and method of installation of all signs and shall conform with this sign program and is subject to Landlord approval.
2. Proposed signage is in accord with adjacent signage conditions and conforms with the design standards for Bouquet Shopping Center and is subject to Landlord approval.

### **A. SUBMITTAL TO OWNER:**

Tenant shall submit three (3) copies of detailed shop drawings to Owner's (Landlord's) Office for approval prior to city submittal or sign fabrication. Sign

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drawings are to be prepared by a California licensed sign contractor. All signs must conform to the city requirements of Santa Clarita Planning and Building Department.

Submittals shall include the following:

1. **STOREFRONT ELEVATION:**  
Scaled elevation of Tenant's storefront depicting the proposed sign design and all the dimensions as they relate to the Tenant's storefront.
2. **SHOP DRAWINGS:**  
Fully dimensioned and scaled shop drawings specifying exact dimensions, copy layout, type styles, materials, colors, means of attachment, illumination, electrical specifications, and all other details of construction. Section through letter and/or sign panel showing the dimensioned projection of the face of the letter or sign panel and the illumination.

If shop drawings are denied, Tenant must resubmit revised plans until Owner's approval is obtained. Request to implement signs that vary from the provisions of this sign program will be submitted to the Owner for approval and then submitted to the City of Santa Clarita, CA for approval. The Owner may approve signs that depart from the specific provisions and constraints of this sign program in order to:

- a. Encourage exceptional design.
- b. Accommodate imaginative, unique and tasteful signs that capture the spirit and intent of this sign program.
- c. Mitigate problems in the application of this sign program.

**B. SUBMITTAL TO CITY:**

A full set of plans must be approved and signed by the Owner and/or the Sign Consultant prior to permit application. Tenant or his sign contractor must submit plans to the City of Santa Clarita, CA, and will be responsible for all applicable applications, permits, and fees from the Planning and Building Departments.

Tenant and his Sign Contractor will not be permitted to commence installation of the exterior sign unless all of the following have been met:

1. An approved set of final drawings reflecting the Owner's and City's approval shall be on file in the Owner's office.
2. All Sign Contractors must be fully insured and approved by landlord prior to installation. Landlord reserves the right of refusal of any sign contractor.



- C. Tenant's Sign Contractor shall install required signage within 60 days after approval of shop drawings. If signage is not in place by that date, Owner may order sign fabrication and installation on Tenant's behalf and at the Tenant's expense.
- D. The Owner may, at his sole discretion and at the Tenant's expense, correct, replace, or remove any sign that is installed without written approval and/or that is deemed unacceptable pertaining to this sign program.
- E. If the Tenant chooses to change his exterior sign at anytime during the term of his lease, then Tenant must comply with the requirements set forth herein and any future modifications, revisions or changes which have been made to this sign program for this center after the execution of his lease agreement.
- F. Tenant shall be ultimately responsible for the fulfillment of all requirements and specifications, including those of the Owner, City, UL and the Uniform Electrical Code.
- G. **TENANT'S RESPONSIBILITY:**  
Tenant shall be responsible for the following expenses relating to signage for his store:
- All permit processing cost and application fees.
  - All costs for sign fabrication and installation including review of shop drawings and patterns.
  - All maintenance related costs.
  - Removal of the sign at the end of the lease term.
  - Cost incurred by Landlord to patch, finish, and paint building fascia or sections of the elevation effected by the sign removal.
  - Any and all damage to building structure and/or finish affected by installation of the sign.
  - Any and all cost incurred by Landlord to remove any unauthorized signage.

## **VI. MONUMENT SIGNS**

- A. Monument signs will be install by landlord as designed in Exhibits 1-3 and 1-4.
- B. Tenant Panels
1. Tenant panels are 16" x 72". The panels will consist of routed aluminum plates, painted to match. Tenant name will consist of push through acrylic letters. Colors, fonts, and content to be approved by Landlord. Maximum letter height is 12 inches.
  2. Placement of tenant panels will be approved by the Landlord.

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## **VII. OTHER TENANT SIGNS**

### **A. Window Graphics**

1. Address numbers – 4 inch tall white vinyl address numbers in a Helvetica font denoting the tenants address number will be centered on the transfer glass panel above the unit's front entrance.
2. Other Window Graphics - Quantity, size, colors, and content is subject to landlord's approval and city codes. All proposed signs must be submitted for Landlord review and approval.

### **B. Neon Signs**

1. Quantity, size, colors, content, and construction is subject to landlord's approval and city codes. All proposed signs must be submitted for Landlord review and approval.

### **C. Promotional Posters**

1. Quantity, size, colors, content, and construction is subject to landlord's approval and city codes. All proposed signs must be submitted for Landlord review and approval.
2. Total storefront area devoted to posters cannot exceed 7% of the unit's glass area.
3. Posters must be professional produced and installed.

### **D. Temporary Signs**

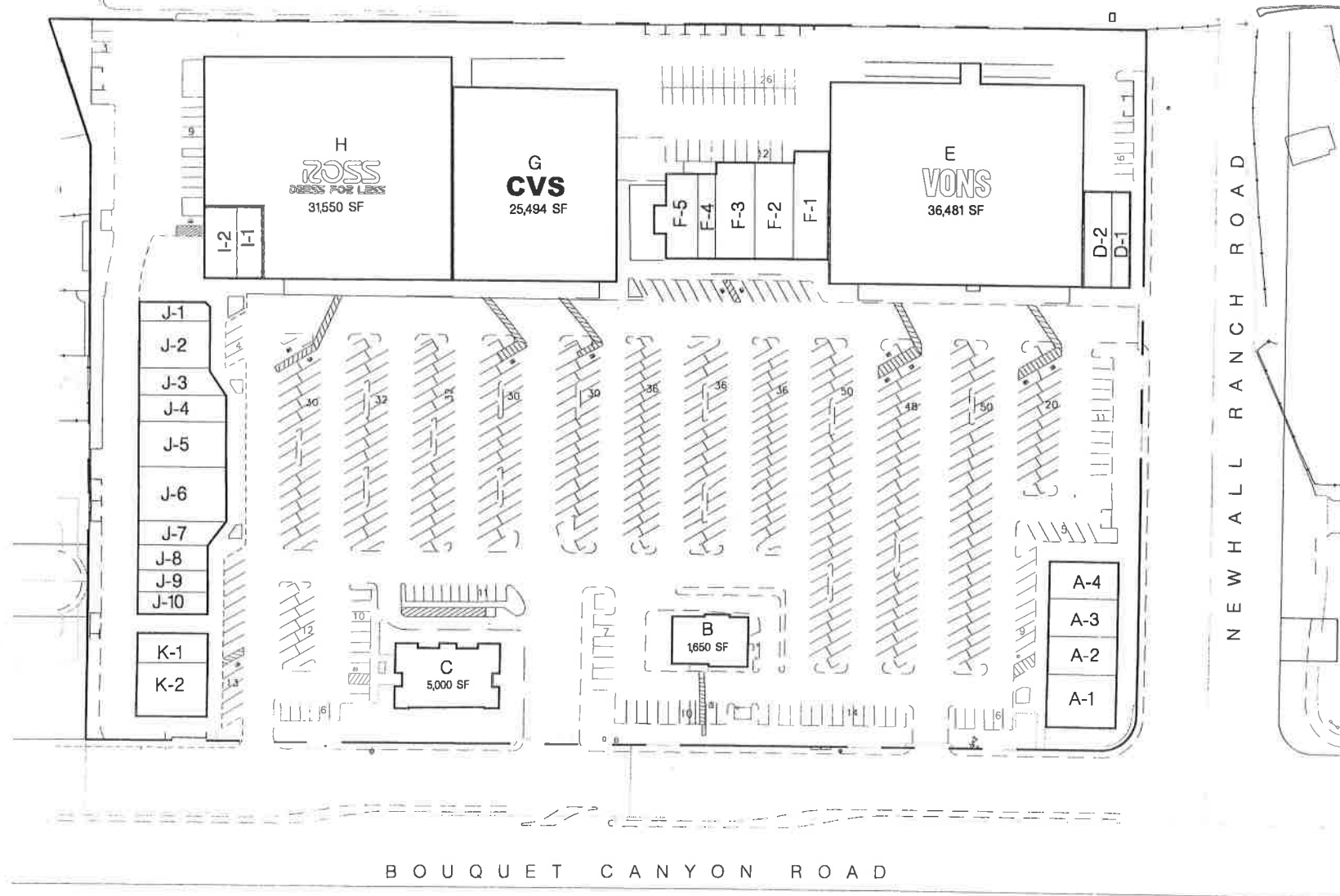
1. Banners for the purpose of "Coming Soon", "Now Open" and/or "Under New Management" will be allowed for limited period, with written Landlord approval and City approval.

## VIII.EXHIBITS

Site plans and elevations are attached. Each elevation shows the height, length, and location of sign areas for each tenant within the center. The elevations will also show if more than one sign space is available for your unit.

Use the site map to locate which unit is applicable to your location and find the elevation based on the building letter designation (A through K) and Unit number as shown on the site plan.

All signs must comply with the stipulations within this sign program. The landlord and/or their representative, however, has final approval on all submittals.

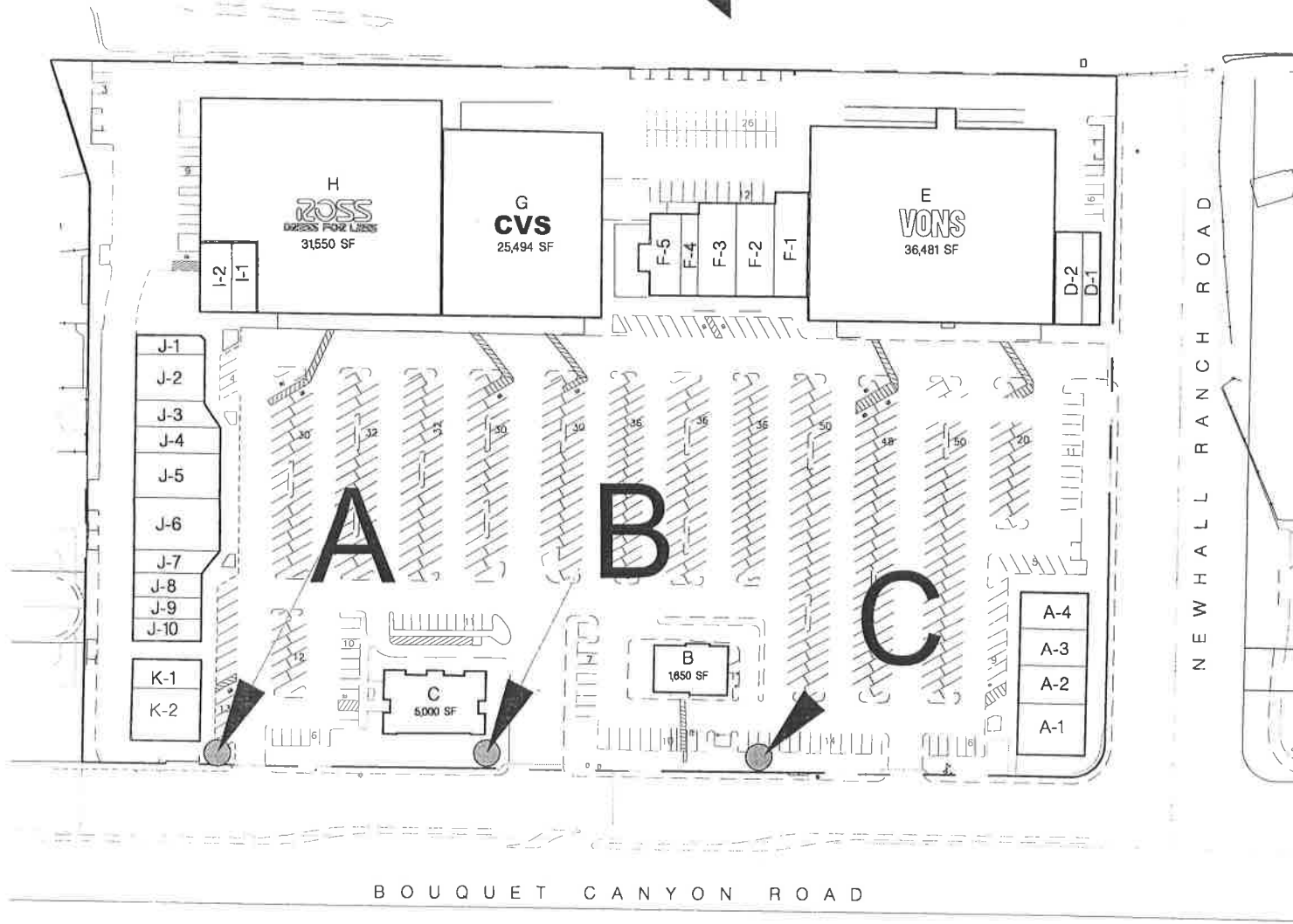


Bouquet Center  
26500-86 Bouquet Canyon Road  
Santa Clarita, CA 91350

## Site Plan

Prepared by: Sign A Rama  
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(661) 260-3522

EXHIBIT  
1-1



A



B



C

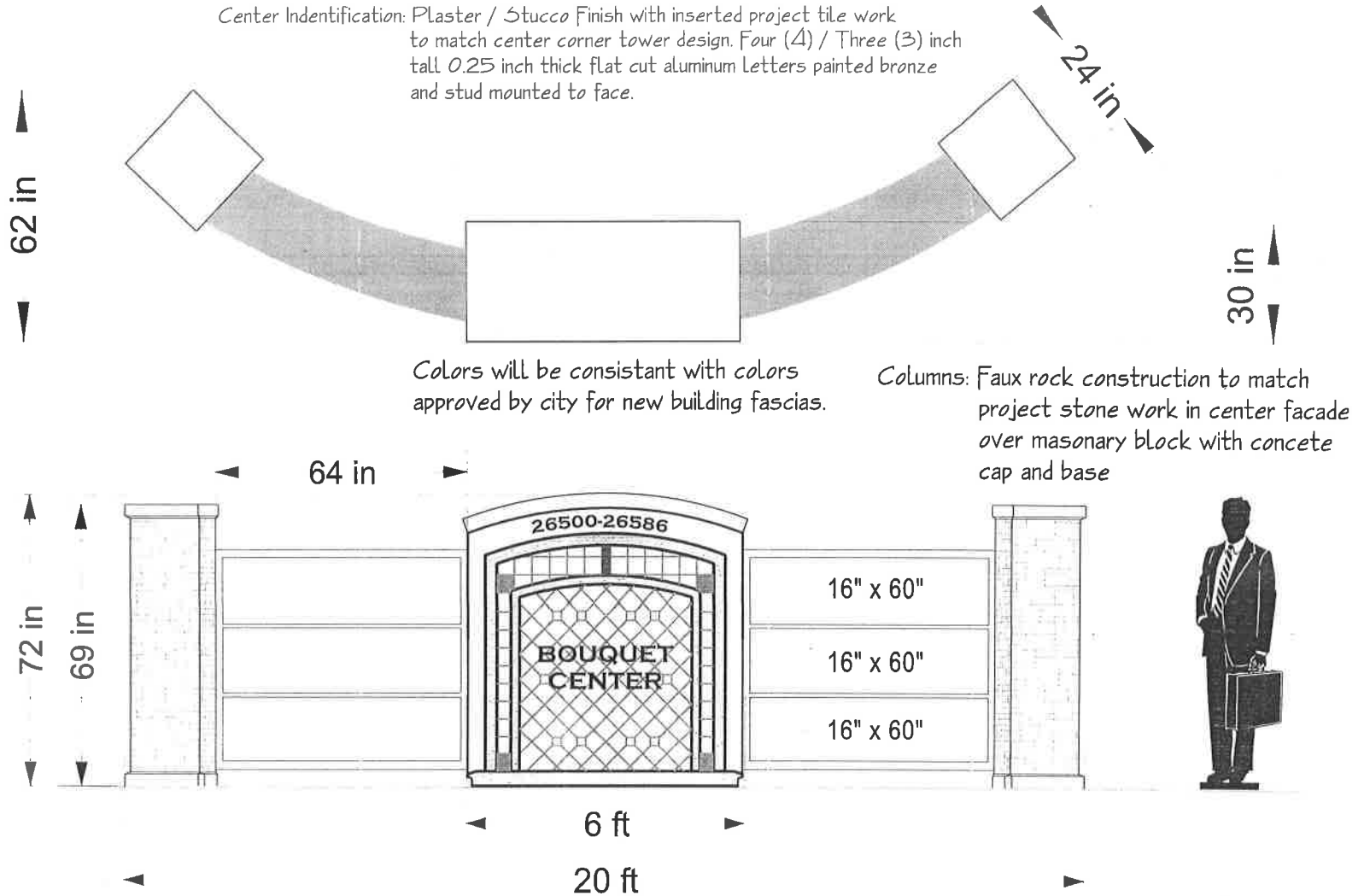
Bouquet Center  
 26500-86 Bouquet Canyon Road  
 Santa Clarita, CA 91350

Existing Monuments to be Removed

Prepared by: Sign A Rama  
 23120 Lyons Ave., Santa Clarita, CA 91321  
 (661) 260-3522

EXHIBIT  
 1-2

Center Identification: Plaster / Stucco Finish with inserted project tile work to match center corner tower design. Four (4) / Three (3) inch tall 0.25 inch thick flat cut aluminum Letters painted bronze and stud mounted to face.



Tenant Identification Cabinets: Two (2) Single Face Fabricated Aluminum Cabinets internally illuminated with three (3) panels each. Smooth painted metal finish with routed push through Letters for tenant identification. Color & font to be approved by Landlord. Maximum Letter height is 12 inches.

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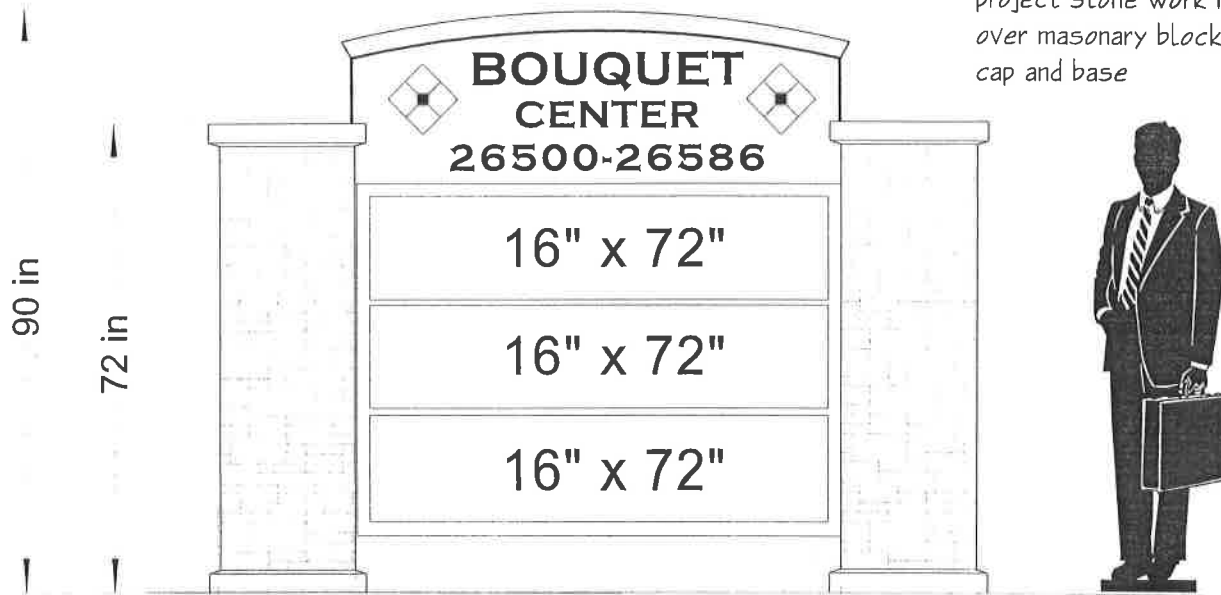
## Main Monument Design

Prepared by: Sign A Rama  
23120 Lyons Ave., Santa Clarita, CA 91321  
(661) 260-3522

EXHIBIT  
1-3

Center Identification Header: Plaster / Stucco Finish with project tile accents. Five (5) / four (4) inch tall flat cut 0.25 inch thick aluminum Letters painted bronze for center identification stud mounted to face.

Columns: Faux rock construction to match project stone work in center facade over masonry block with concrete cap and base



Colors will be consistent with colors approved by city for new building fascias.

6 ft

10 ft

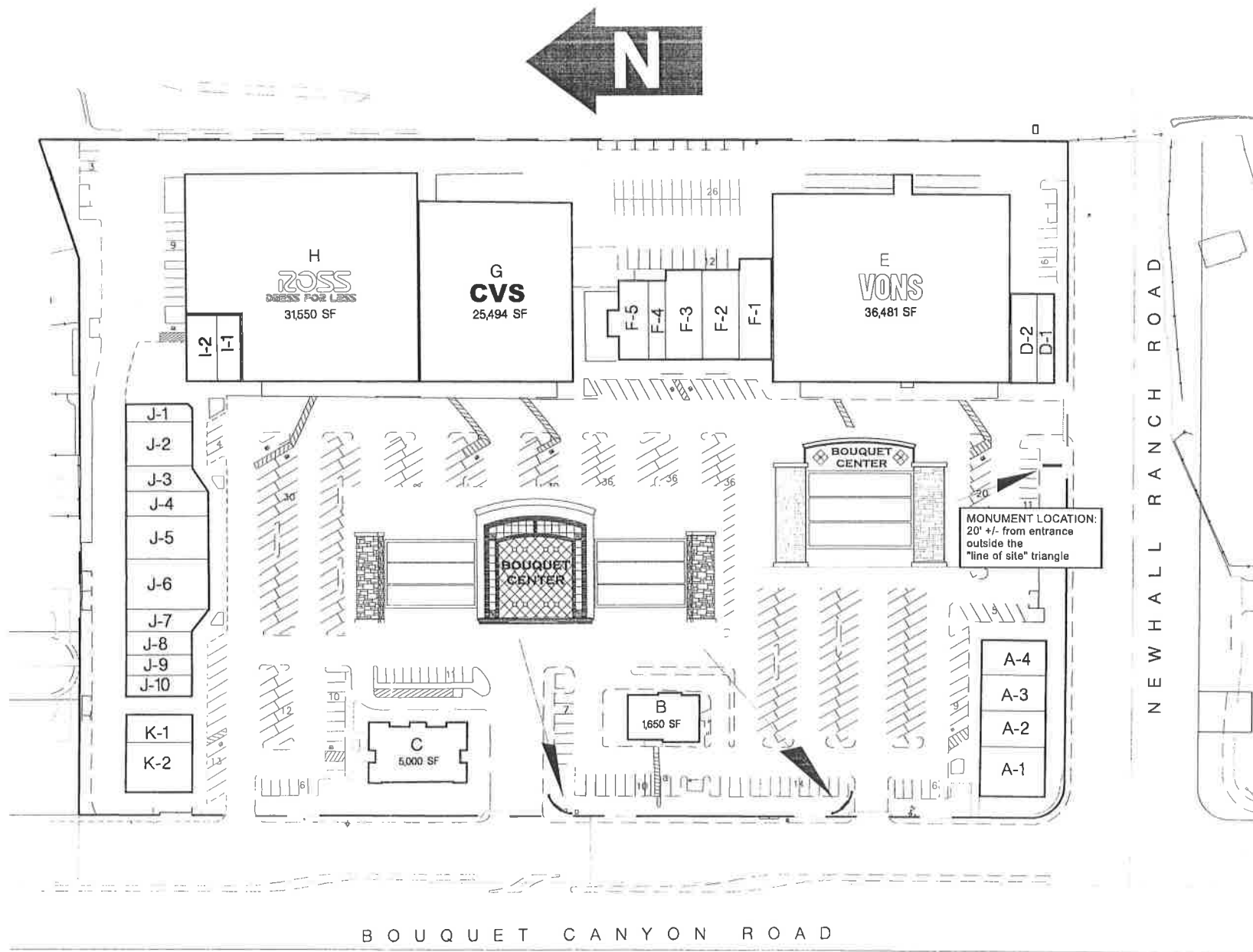
Tenant Identification Cabinet: One (1) Double Face Fabricated Aluminum Cabinets internally illuminated with three (3) panels each. Smooth painted metal finish with routed push through Letters for tenant identification. Maximum Letter size is 12 inches. Color & fonts to be approved by landlord.

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Small Monument Design

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EXHIBIT  
1-4.



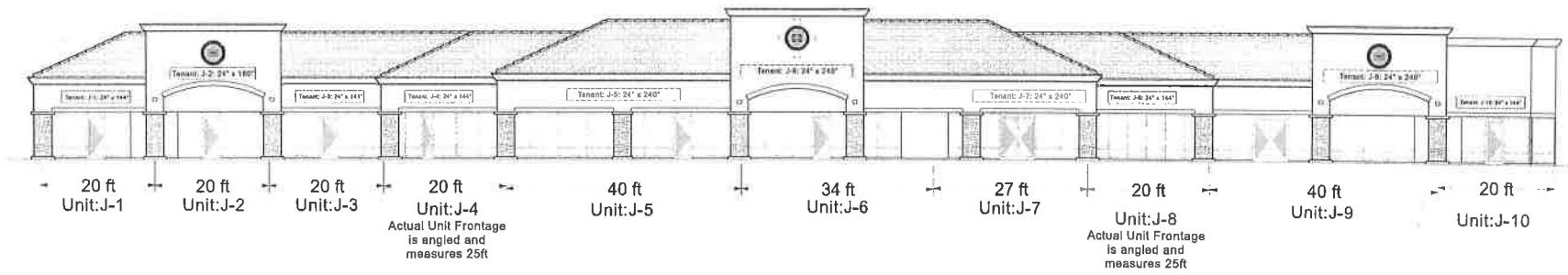
Bouquet Center  
 26500-36 Bouquet Canyon Road  
 Santa Clarita, CA 91350

# Location of New Monuments

Prepared by: Sign A Rama  
 23120 Lyons Ave., Santa Clarita, CA 91321  
 (661) 260-3522

EXHIBIT  
 1-5



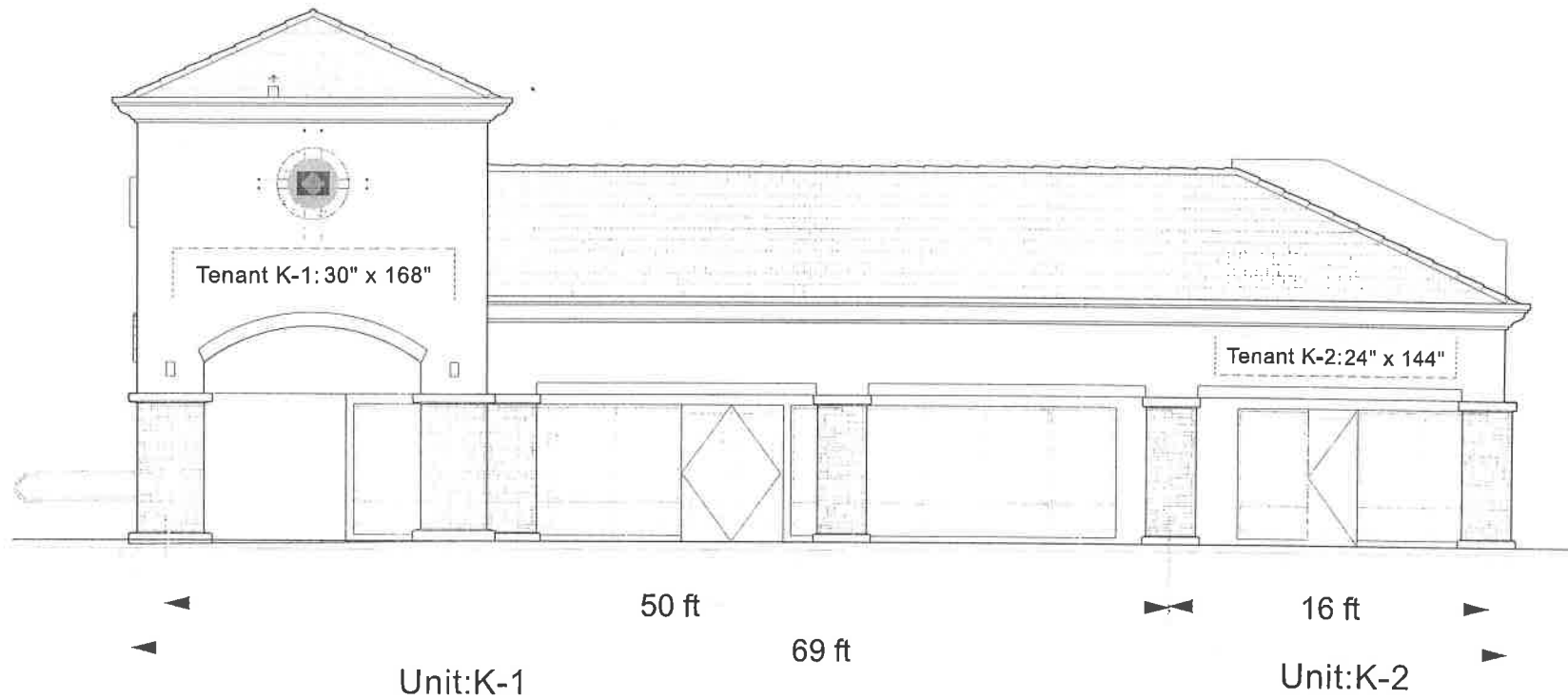


Bouquet Center  
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 Santa Clarita, CA 91350

Building J - South Elevation

Prepared by: Sign A Rama  
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 (661) 260-3522

EXHIBIT  
 10-1

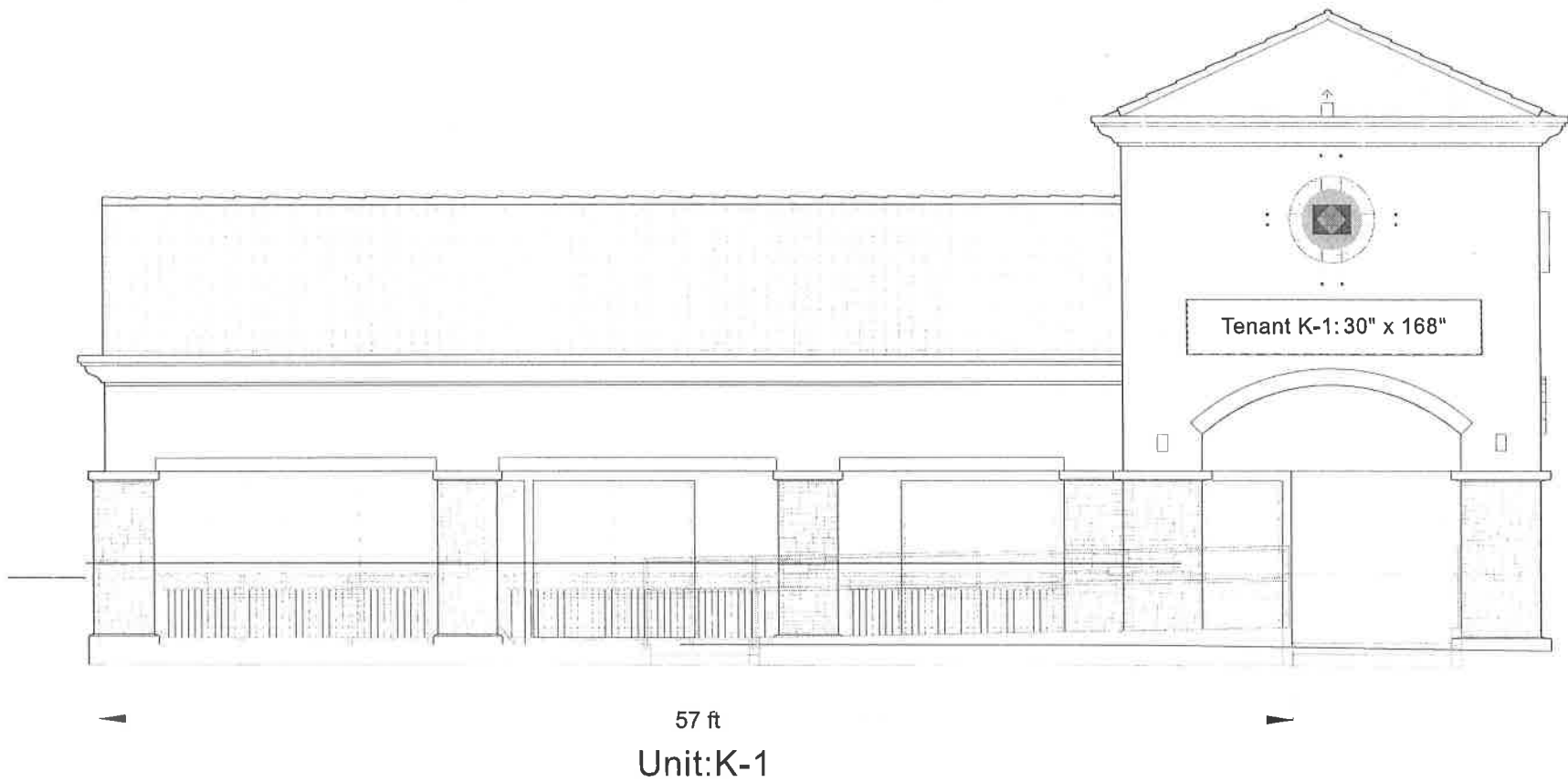


Bouquet Center  
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Building K - South Elevation

Prepared by: Sign A Rama  
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 (661) 260-3522

EXHIBIT  
 11-1

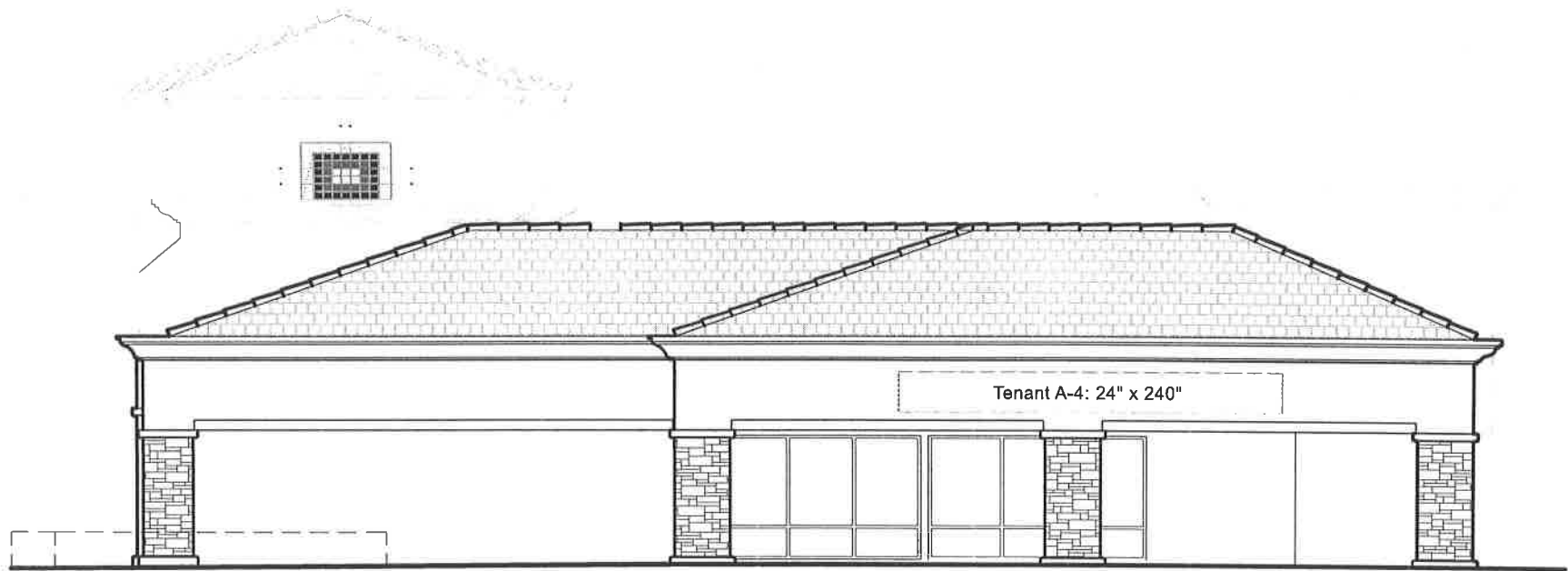


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Building K - West Elevation

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EXHIBIT  
11-2



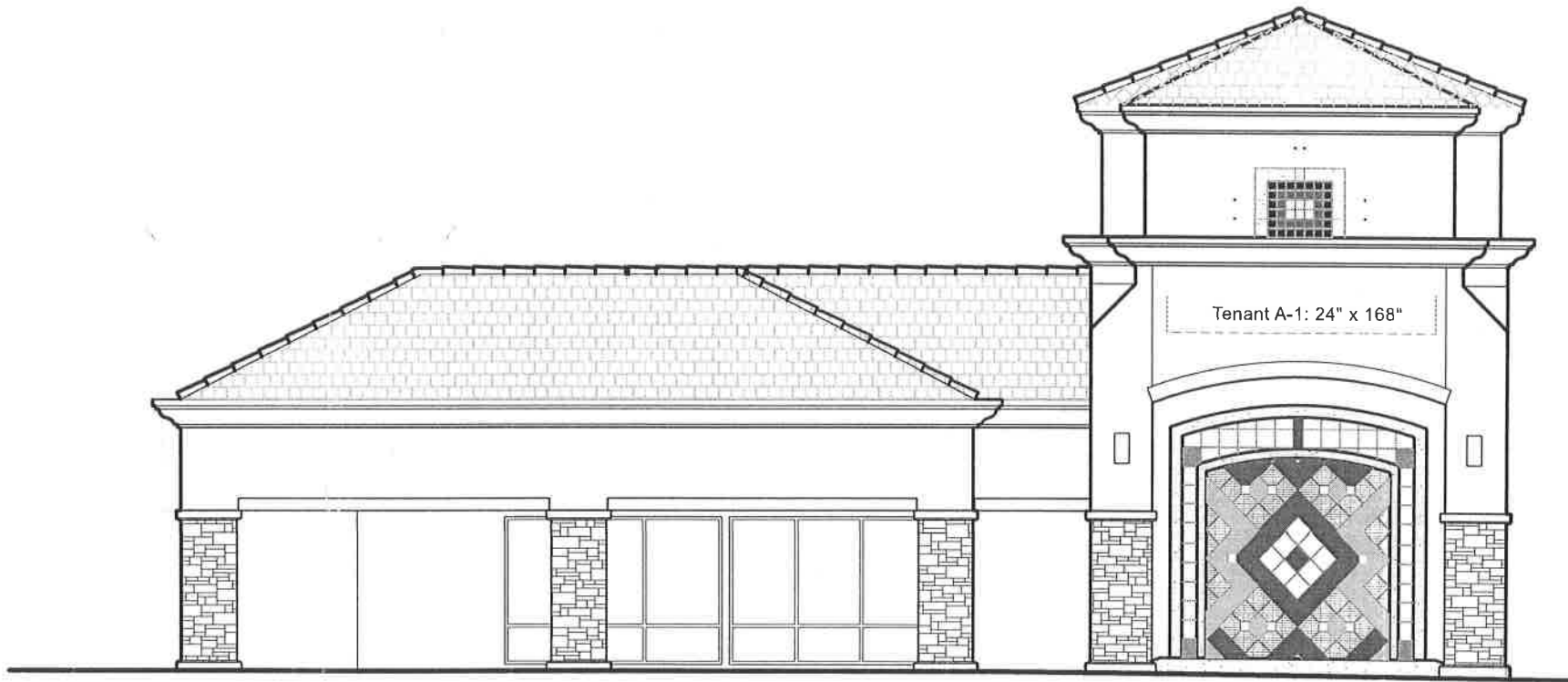
60 ft  
Unit:A-4

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Building A- East Elevation

Prepared by: Sign A Rama  
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EXHIBIT  
2-1



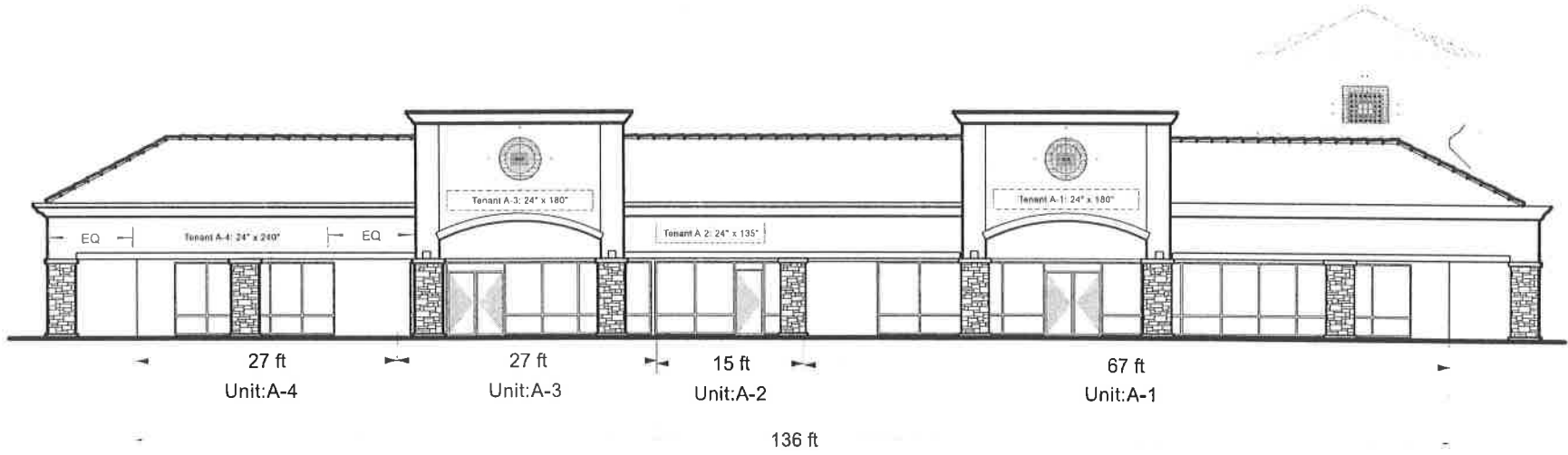
◀ 60 ft Unit:A-1 ▶

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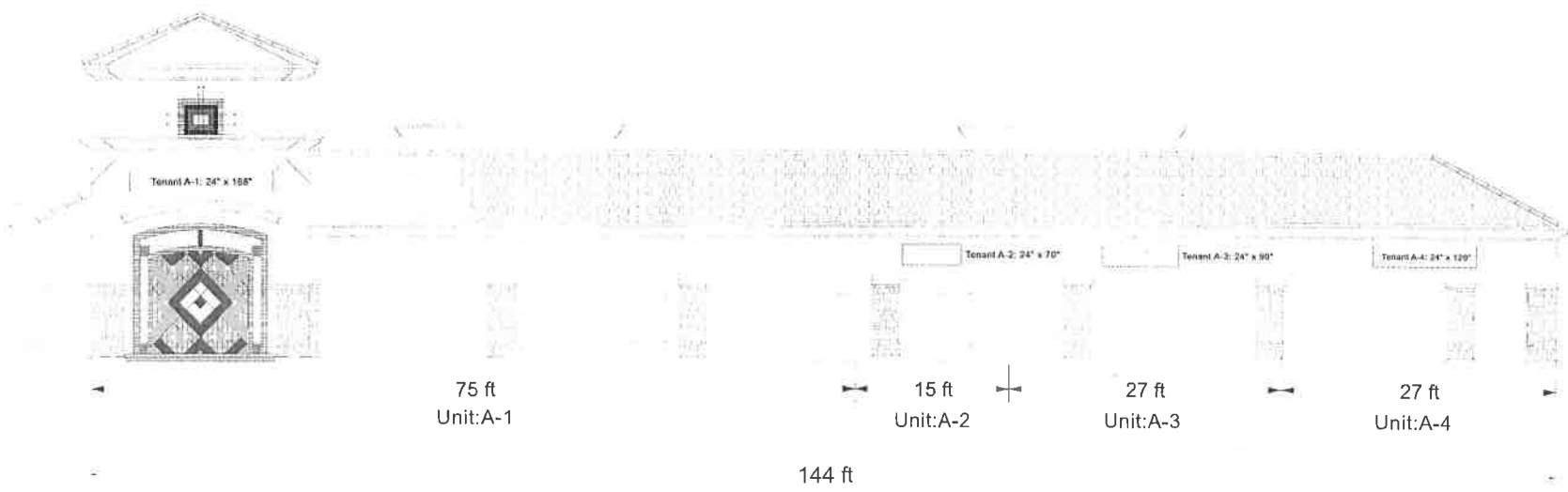
Building A- West Elevation

Prepared by: Sign A Rama  
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EXHIBIT  
2-2



Building A- North



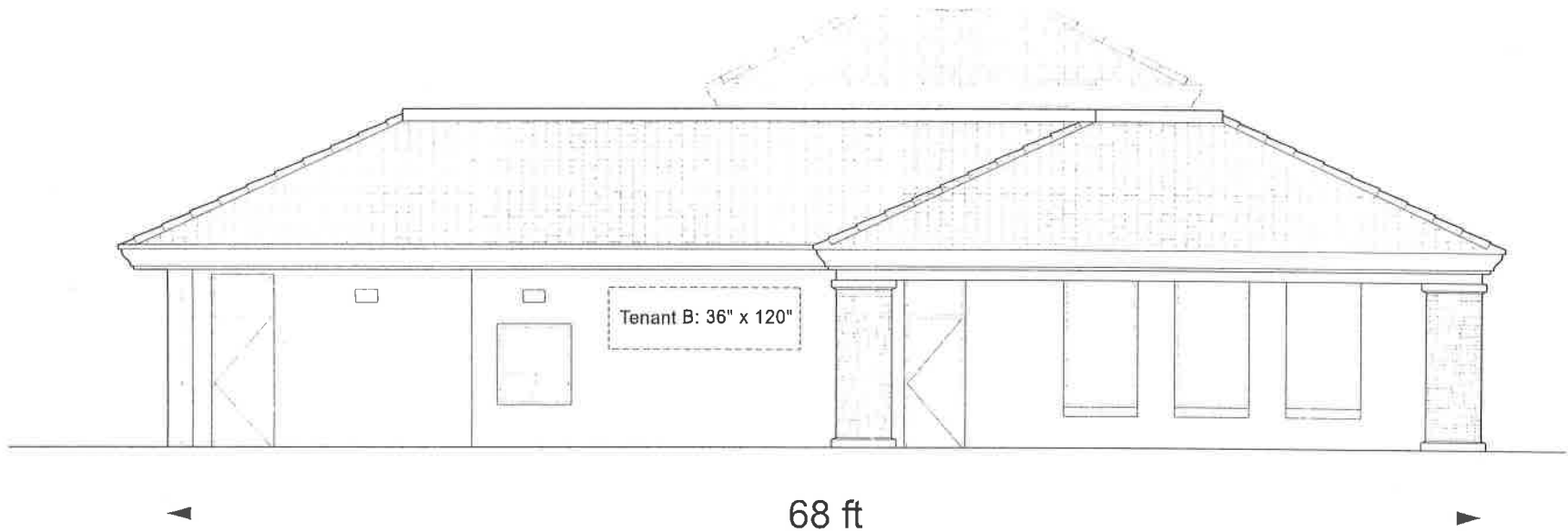
Building A- South

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Building A- North / South Elevations

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EXHIBIT  
 2-3



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## Building B- East Elevation

Prepared by: Sign A Rama  
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EXHIBIT  
**3-1**



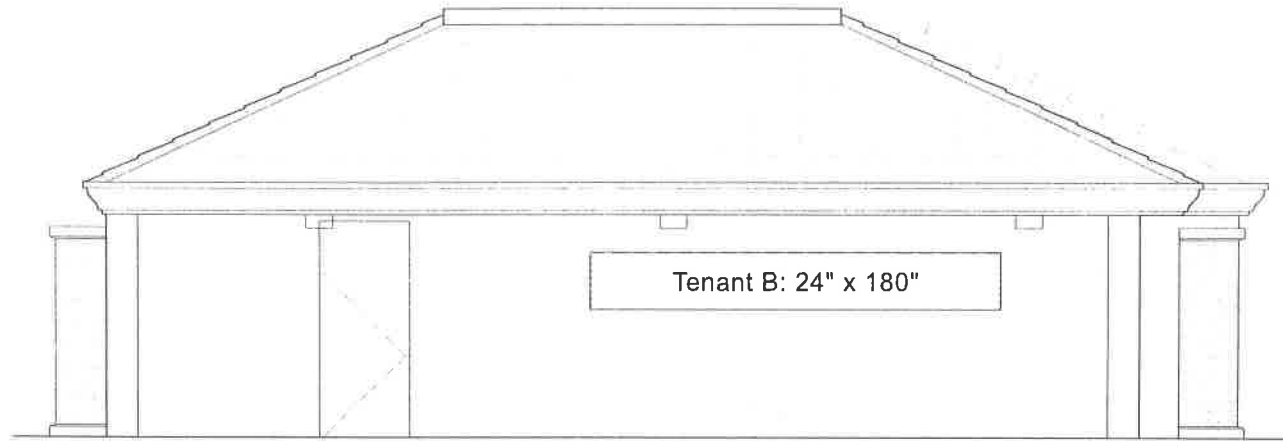
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Santa Clarita, CA 91350

## Building B- West Elevation

Prepared by: Sign A Rama  
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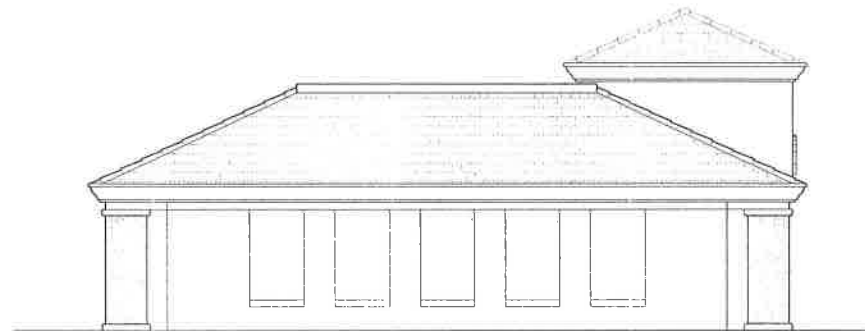
EXHIBIT  
3-2





43 ft

Building B- South



43 ft

**NO SIGNAGE ALLOWED**

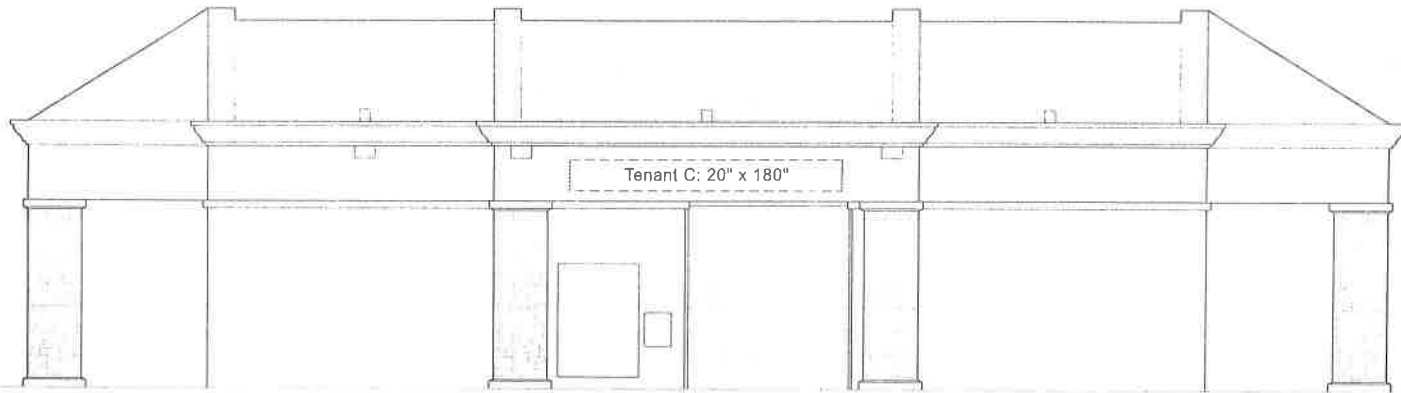
Building B- North

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Building B- North / South Elevation

Prepared by: Sign A Rama  
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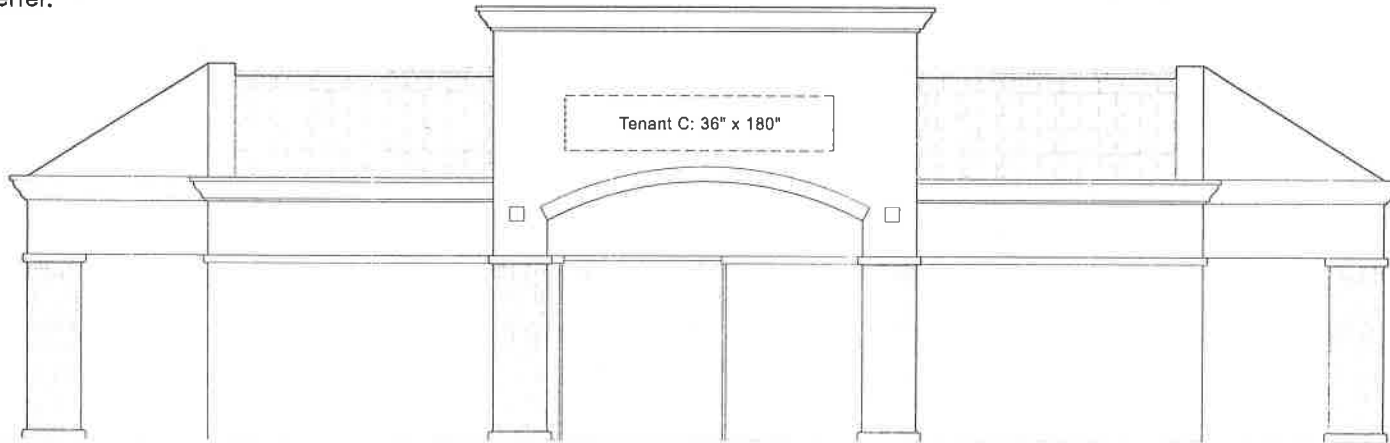
EXHIBIT  
**3-3**



55 ft

Building C- North

Note:  
 While signage is shown on all four sides  
 of Building C elevation, signage has only  
 been approved on 3 of the 4 sides.  
 Tenant can choose which three  
 sides they prefer.



56 ft

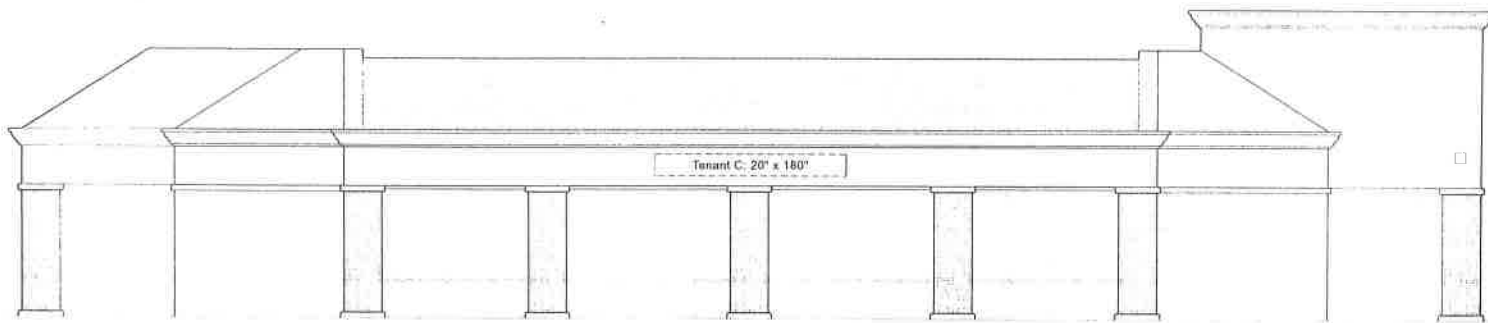
Building C- South

Bouquet Center  
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Building C- North / South Elevation

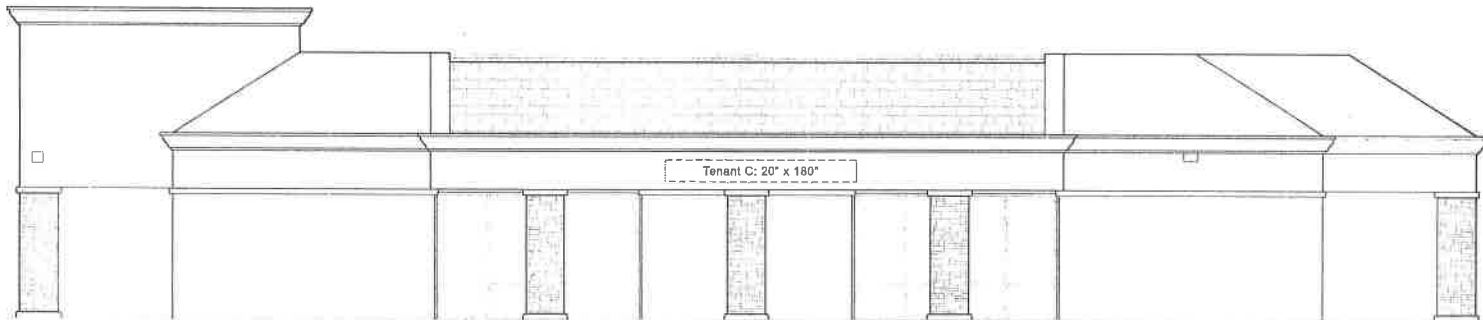
Prepared by: Sign A Rama  
 23120 Lyons Ave., Santa Clarita, CA 91321  
 (661) 260-3522

EXHIBIT  
 4-1



90 ft

Building C-West



90 ft

Building C-East

Note:

While signage is shown on all four sides of Building C elevation, signage has only been approved on 3 of the 4 sides.

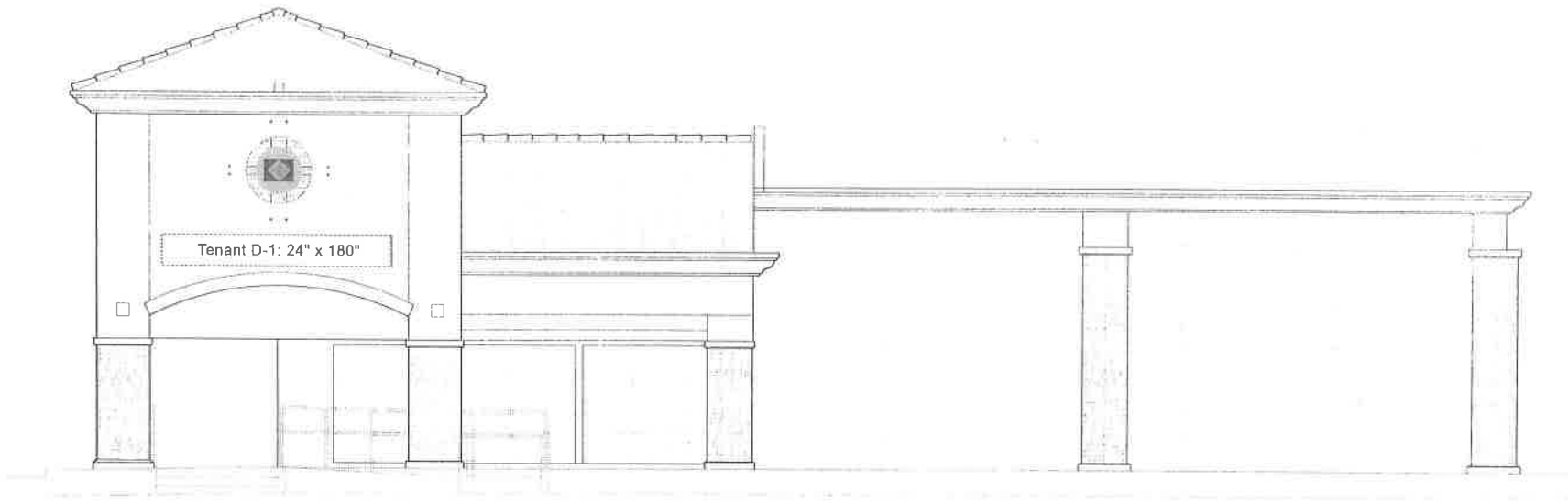
Tenant can choose which three sides they prefer.

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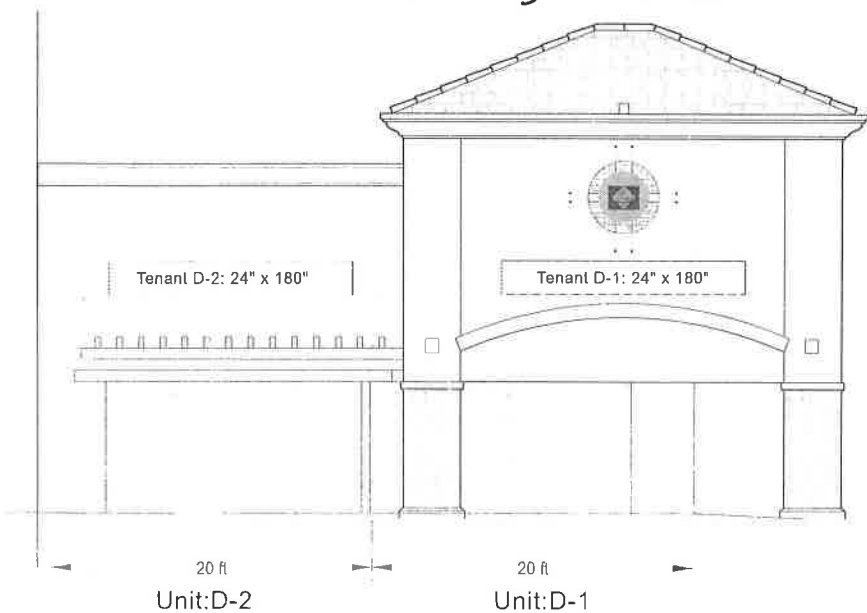
Building C-East / West Elevation

Prepared by: Sign A Rama  
23120 Lyons Ave., Santa Clarita, CA 91321  
(661) 260-3522

EXHIBIT  
4-2



81 ft  
Unit: D-1  
Building D- South



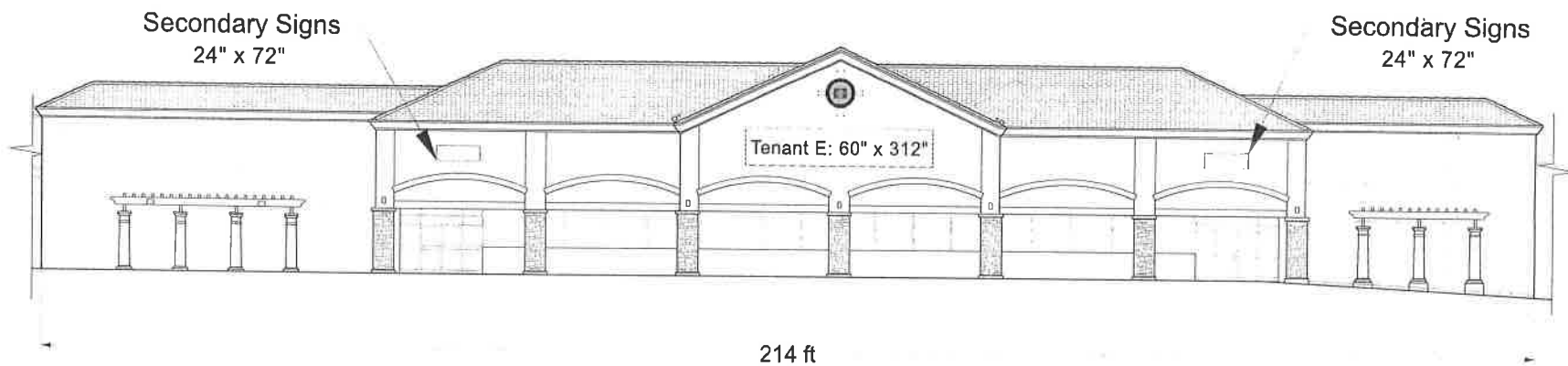
Building D- West

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Building D- West / South Elevation

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EXHIBIT  
5-1

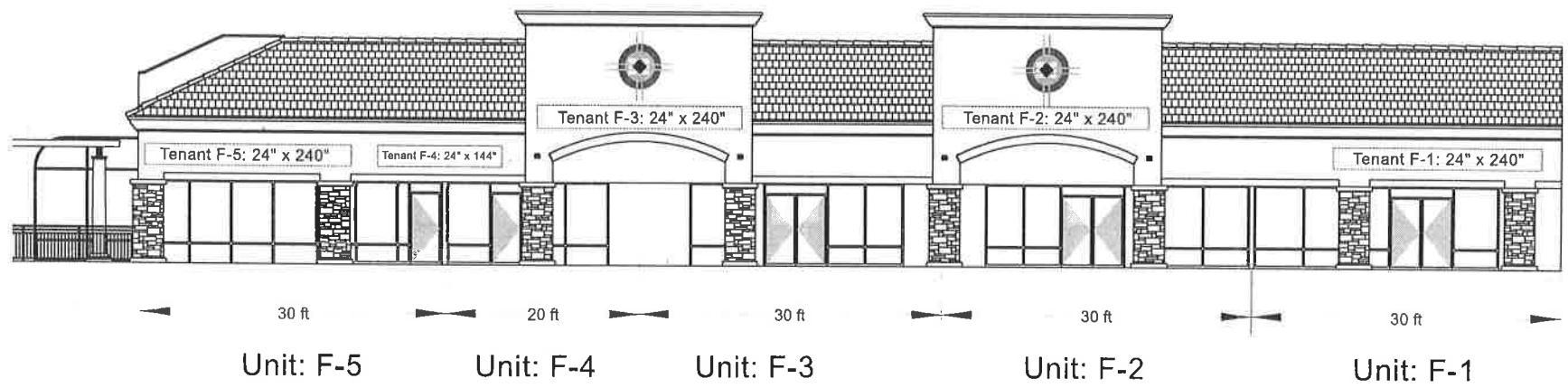


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Building E- West Elevation

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EXHIBIT  
 6-1

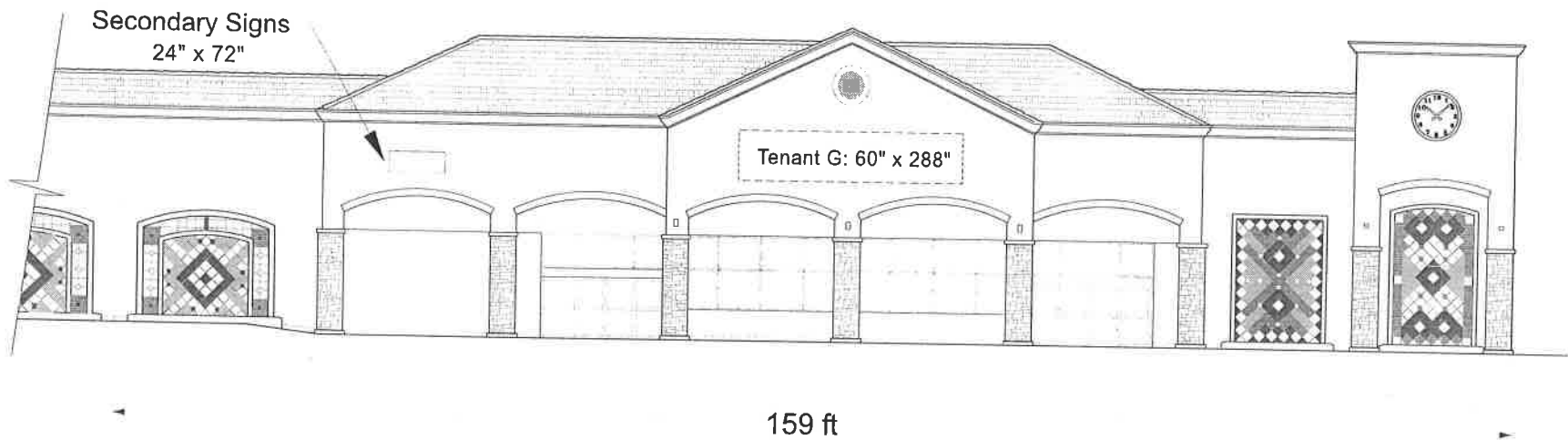


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Building F- West Elevation

Prepared by: Sign A Rama  
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EXHIBIT  
 7-1

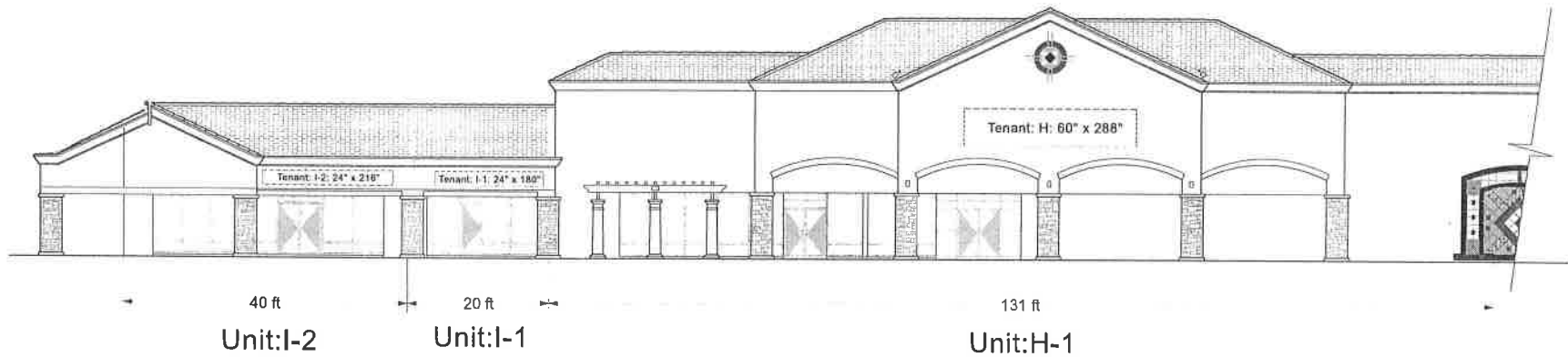


Bouquet Center  
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Building G- West Elevation

Prepared by: Sign A Rama  
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(661) 260-3522

EXHIBIT  
8-1



Bouquet Center  
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Building H and I - West Elevation

Prepared by: Sign A Rama  
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 (661) 260-3522

EXHIBIT  
 9-1