

Section 5.3  
**AESTHETICS, LIGHT, AND GLARE**

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## 5.3 AESTHETICS, LIGHT, AND GLARE

Visual resources information for this section was compiled from photographs and photo simulations prepared as part of the Master Plan and site surveys conducted by RBF Consulting. This section describes the existing aesthetic environment and analyzes potential project impacts to the aesthetic character upon project implementation. The introduction of new sources of light and glare are also included in this section. Building elevations, cross-sections, and photo simulations were prepared in order to assist in determining the visual impact of adding new structures to the hospital campus on the surrounding community.

### 5.3.1 ENVIRONMENTAL SETTING

#### CONTEXT FOR DIRECTIONALITY ON- AND OFF-SITE

The project site is not oriented in a true north-south or east-west direction. Thus, it is important to provide the reader with cardinal directions (i.e., north, south, east and west) to orient themselves to uses both on- and off-site. The graphic below illustrates the eight directionality references that will be used in this section.



#### VISUAL SETTING/CHARACTER

#### COMMUNITY HISTORY & CHARACTER

The project site is an existing hospital campus comprised of hospital buildings, medical offices, and surface parking on 30.4 acres situated within the established master-planned community of Valencia, designed by urban planner Victor Gruen in conjunction with the Newhall Land & Farming Company in the 1960s. The Valencia Master Plan comprehensively planned for the full range of land uses, a transportation network, utilities and infrastructure, parkland and recreational centers, a pedestrian trail network, natural open space preservation, social and institutional facilities, retail, entertainment and dining venues and employment centers for an 18,000 residential unit



development situated along the eastern side of Interstate 5 over a 35-year timeframe. The Valencia Master Plan also included a number of regional-serving institutions including College of the Canyons, California Institute of the Arts, the government center (library, courthouse, Los Angeles County Sheriff's station, and fire station), three golf courses, the Hart Pony League baseball complex, and the Valencia Town Center regional mall and Town Center Drive. The Henry Mayo Newhall Memorial Hospital campus is among these regional serving institutions. These regional serving institutions are situated within the community in proximity to residential and commercial uses and are accessed via major highways including McBean Parkway, Valencia Boulevard, and Magic Mountain Parkway. The Henry Mayo Newhall Memorial Hospital campus is located along McBean Parkway approximately 0.94-mile from Interstate 5, a major transportation corridor through the State of California, and 1.1-mile from the Valencia Town Center which currently serves as the Valley's regional hub for retail, entertainment, dining and governmental services and has the highest residential density and non-residential floor-area-ratio for the Santa Clarita Valley. Other major uses in proximity to the hospital campus include the California Institute of the Arts campus (0.66-mile), the College of the Canyons campus (1.25-mile), and Magic Mountain Amusement Park (3.0-mile). The Valencia Gateway, a 4,500-acre master-planned center for business, technology and industry comprised of 1,500 companies and 45,000 employees, is approximately three miles from the hospital campus.

McBean Parkway, from Interstate 5 to Valencia Boulevard, is a mixed use corridor. Neighborhood shopping centers, a four-year university, churches, assisted living, single-family homes, multi-family complexes and offices are among these uses. Each use is integral to the Valencia community and contributes to its character.

The hospital has been operational for 33 years, since 1975, and has served as the Santa Clarita Valley's only major regional medical center as the Valley has continued to grow in population, households, housing units, and employment. The hospital was originally permitted under Los Angeles County jurisdiction in 1971, prior to the City of Santa Clarita's incorporation in December 1987. Since the establishment of the HMNMH campus, residential neighborhoods have developed around the campus including the Valencia Glen neighborhood, the Summit neighborhood, and the Village Homes North neighborhood. Therefore, views of the project site from these residential land uses have always been of a hospital campus consisting of hospital buildings, medical office buildings, support facilities, and surface parking.

## **ON-SITE LAND USES**

The 30.4-acre HMNMH project site is relatively flat at an elevation of approximately 1,225 feet above mean sea level (msl) and is occupied by various medical office buildings (MOBs), a Main Hospital, and Nursing Pavilion (refer to *Exhibit 3-4*). The HMNMH facilities include nine buildings that occupy 340,071 square feet of building area. Most of the hospital campus buildings are centrally located within the existing hospital campus with surface parking nearby; however, the majority of the site's parking is adjacent to the McBean Parkway project frontage. A long, steep hill with dense, mature trees along the northwestern property line creates a topographic division between the rear of the hospital campus and adjacent residential neighborhoods to the west and northwest. The campus contains numerous mature trees interspersed throughout the site and parking areas, as well as along the site's McBean Parkway frontage.



Hospital-related uses include a 121-bed Main Hospital with recent basement and Emergency Department expansions and a Nursing Pavilion containing 100 patient beds that was recently connected to the Main Hospital by an enclosed foot bridge. These two buildings are 44 and 35 feet high, respectively.

Six medical office buildings are located to the southwest of the Main Hospital, totaling 104,160 square feet and ranging in height from 18 to 33 feet high. The medical office building housing the Sheila R. Veloz Breast Imaging Center (MOB F) is the tallest of the on-site medical office buildings at 33 feet and is the only facility located adjacent to McBean Parkway. An 8,000 square-foot Foundation Building is located along the western edge of the campus.

At present, the on-site buildings cover approximately 26 percent of the project site, while on-site landscaping comprises 43 percent of the site. The existing on-site parking supply for the HMNMH campus totals 1,114 spaces, consisting of 968 spaces in surface lots, and 146 parallel spaces along the internal circulation roadways of the site.<sup>1</sup>

## **OFF-SITE LAND USES**

Residential land uses are located north, northwest, and west of the HMNMH campus and southwest, south, southeast, and east of the campus across McBean Parkway. These homes were constructed between 1969 and the mid-1980s. The Sunrise at Sterling Canyon facility, a senior living facility providing independent living, assisted living and hospice care, as well as medical office space, is located north of the existing hospital campus. A church is also located northeast of the campus at the intersection of McBean Parkway and Avenida Navarre.

Currently, the majority of buildings on the hospital campus are centrally located with setbacks ranging from 30 feet to 300 feet from McBean Parkway and 75 feet from the residential uses located west of the site, in addition to landscape buffers to the north. All of the existing buildings are one-to-two stories with a maximum height of 44 feet (Main Hospital). The existing campus totals 340,071 square feet, resulting in a floor area ratio (FAR) of 0.26.

## **EXISTING VIEWS**

### **VIEWS NORTH ONTO THE PROJECT SITE**

Currently, views of the hospital campus from the single-family residential uses located southwest, south, and southeast of the project site are partially obstructed by block walls and landscaping on the residential properties, landscaping within the McBean Parkway center median and parkways, mature trees that extend around the perimeter of the hospital campus, and trees planted within the parking areas on the hospital campus. Many of these single-family homes back onto McBean Parkway and have 6-8 foot block walls that shield their back yards from McBean Parkway, which also blocks their view of the hospital campus across the street. The two-story Sheila R. Veloz Breast Imaging Center (MOB F) is visible from these residential areas, as it is located directly across the street along the McBean Parkway frontage. Views of the southwestern portion of the project site include the one-

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<sup>1</sup> Refer to [Section 5.5, Parking](#), for additional information regarding existing on-site parking. Four parking spaces are unavailable for parking due to construction activities.



story Foundation/Administration Building set further back from McBean Parkway. Views to the northwest consist of a surface parking and the Main Hospital in the background.

### **VIEWS SOUTH ONTO THE PROJECT SITE**

The single-family homes northwest of the project site within the Summit residential neighborhood are located atop a steep hillside approximately 40 to 100 feet higher than the hospital campus. Some of these homes overlook the hospital campus. A dense grove of mature evergreen trees planted on this slope that extends along the perimeter of the hospital campus provides 100-300 feet of horizontal separation and 40-80 feet of vertical distance between the campus and homes, in some areas obstructing views of the hospital and beyond to views to the east. Partial views of the surface parking area and the Nursing Pavilion are visible downhill at the northern portion of the project site, obstructing views further to the south. Partial views to the southeast between the Nursing Pavilion and the Main Hospital are primarily of the surface parking area. Summit neighborhood homes located at the far northwest/western corner are approximately 600 feet from the campus.

### **VIEWS EAST ONTO THE PROJECT SITE**

Views of the hospital campus from homes directly west of the project site (within the Village Home North neighborhood along Ramillo Way) are partially blocked by block walls and a landscape setback containing mature landscaping and trees. Surface parking is located along the western portion of the campus. Other than the Foundation/Administration Building, most of the existing hospital structures are located several hundred feet from these homes and are no more than 18 to 33 feet in height. A five-to-six-foot-high block wall extends along the rear yards of the residences immediately adjacent to the site on Ramillo Way.

### **VIEWS WEST ONTO THE PROJECT SITE**

Views of the hospital campus from homes across McBean Parkway to the east/northeast of the site within the Valencia Glen neighborhood include the surface parking areas along McBean Parkway with the Nursing Pavilion and Main Hospital dominating the views beyond the parking area. MOB F and MOB A through E are partially visible to the west. Single-family homes front onto Via Jacara, a frontage road that parallels McBean Parkway. Views of the hospital campus are partially obstructed by vegetation on the residential properties, the landscaped parkway separating Via Jacara and McBean Parkway, the McBean Parkway median and parkway landscaping, and mature vegetation along the HMNMH campus frontage. These homes are located approximately 350 feet from the hospital campus buildings.

### **EXISTING LIGHT AND GLARE**

There are two primary sources of light generated by the existing hospital campus: (1) light emanating from building interiors passing through windows and (2) light from exterior sources (i.e., street lighting, exterior building illumination, security lighting, parking lot lighting, and landscape lighting). Light introduction can be a nuisance to adjacent residential areas and diminish the view of the clear night sky. Perceived glare is the unwanted and potentially objectionable sensation as observed by a person as they look directly into the light source of a luminaire. Light spill is typically defined as the presence of unwanted light on properties adjacent to the property being illuminated.



Currently, light and glare are being emitted from the existing medical office buildings and hospital facilities. Existing sources of light include parking lot lighting, building illumination, and security lighting. Further, as the project site is bordered by McBean Parkway (a major arterial) to the east, car headlights and street and traffic lighting also influence light/glare on the project site and surrounding area.

The existing hospital campus experiences lighting impacts typical of an urbanized area. Light and glare is generated from the residential areas located north, south, east, and west of the project site. Further to the northeast, light and glare is generated by interior lighting and exterior lighting (i.e., parking lot lighting, building illumination, and security lighting) associated with the senior assisted living housing, medical office buildings and a church use.

### **SCENIC RESOURCES**

The Circulation Element of the *City of Santa Clarita General Plan* currently does not designate any scenic highways or scenic roadways within the City's Planning Area. Therefore, there is no impact analysis of the proposed project on designated scenic highways or scenic roadways. Although not designated as a scenic resource, the McBean Parkway corridor has several aesthetic attributes due to mature parkway and median landscaping and high quality architecture.

### **5.3.2 SIGNIFICANCE THRESHOLD CRITERIA**

The City of Santa Clarita Local CEQA Guidelines (Resolution 05-38) adopted on April 26, 2005, as well as the City's General Plan and Unified Development Code serve as the basis for identifying thresholds determining the significance of the environmental effects of a project. Where thresholds are not specifically identified, the Initial Study checklist contained in Appendix A of this EIR relating to aesthetics, light, and glare has been utilized to formulate additional significance criteria in this section. Accordingly, a project may create a significant environmental impact if one or more of the following occurs:

- ◆ Substantially degrade the existing visual character or quality of the site and its surroundings.
- ◆ Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area.

The proposed HMNMH Master Plan has been evaluated based on these standards. Mitigation measures are recommended for potentially significant impacts. If a potentially significant impact cannot be reduced to a less than significant level through the application of mitigation, it is categorized as a significant unavoidable impact.

### **5.3.3 IMPACTS AND MITIGATION MEASURES**

#### **SHORT-TERM CONSTRUCTION AESTHETIC, LIGHT, AND GLARE IMPACTS**

*Level of Significance Prior to Mitigation:* Potentially Significant Impact.



*Impact Analysis:* Views of the project site from off-site are partially obscured by existing buildings, mature trees, landscaping, and grade differences. Project construction activities, including truck traffic and temporary storage of construction materials and equipment would be visible at various times from a limited number of residences, as well as from McBean Parkway motorists and on-site. Short-term light and glare impacts associated with construction activity would be limited to nighttime lighting necessary for security purposes that could pose a nighttime lighting impact to residences located west of the project site.

In general, construction-related activities are not considered significant as they are anticipated to be short-term and would occur at various locations within the hospital campus and at different times as the Master Plan is built out. However, with implementation of Mitigation Measures AES1 and AES2, short-term construction impacts would be reduced to less than significant levels.

*Mitigation Measures:*

- AES1** Appropriate screening (i.e., temporary fencing with opaque material) shall be used to buffer views of construction activities, equipment and material from adjacent residential uses, existing hospital campus operations, and from McBean Parkway.
- AES2** Construction-related security lighting shall be directed away from adjacent residential areas and shall consist of the minimal wattage necessary to provide safety at the construction site.

*Level of Significance After Mitigation:* Less Than Significant Impact.

## **LONG-TERM AESTHETIC IMPACTS / VISUAL CHARACTER**

*Level of Significance Prior to Mitigation:* Potentially Significant Impact.

*Impact Analysis:* Development of the proposed HMNMH Master Plan would gradually increase the total square footage of the medical campus to 667,434 square feet over the 15-year life of the project, resulting in a FAR of 0.50. Exhibit 3-3 illustrates an aerial perspective of the increased density within the project site by showing the size and location of all Master Plan-related development within the context of the existing hospital campus. Development of the proposed HMNMH Master Plan, as described in Section 3.0, Project Description, and illustrated on Exhibit 3-5 and Exhibit 3-6, would alter the appearance of the hospital campus as seen from McBean Parkway and some residents adjacent to the proposed campus buildings. The primary structures responsible for the on-site change along the McBean Parkway frontage include the 80,000 square-foot MOB1; 60,000 square-foot MOB2; and a multi-level PS1, with four visible levels on the McBean frontage (refer to Exhibit 3-5).

However, given the topographic buffer that currently exists along the northwestern edge of the campus, the placement of new inpatient and medical office buildings and parking structures with sensitivity to building height, the use of setbacks and step-backs from the property edges, requirements for the inclusion of architectural enhancements on building facades, and requirements for on- and off-site landscaping, the proposed project is expected to have a less than significant impact on the visual character of the area and the quality of the campus. The discussion below is divided into (1) building heights & building placement/setbacks, (2) architecture, and (3) landscaping.



Cross-section drawings are provided for all proposed structures, the locations of which are illustrated in *Exhibit 5.3-1, Cross-Section Location Map*. The cross-sectional drawings for PS1, MOB1, MOB2, MOB3, PS2, PS3, and the Inpatient Building are shown in *Exhibit 5.3-2* through *Exhibit 5.3-2*, respectively, which demonstrate the height and distance of these structures in relation to surrounding uses. Viewpoint simulations from three off-site locations are also provided to illustrate the short- and long-term visual alterations of the medical campus as the Master Plan is built out.

### **Building Heights & Building Placement/ Setbacks**

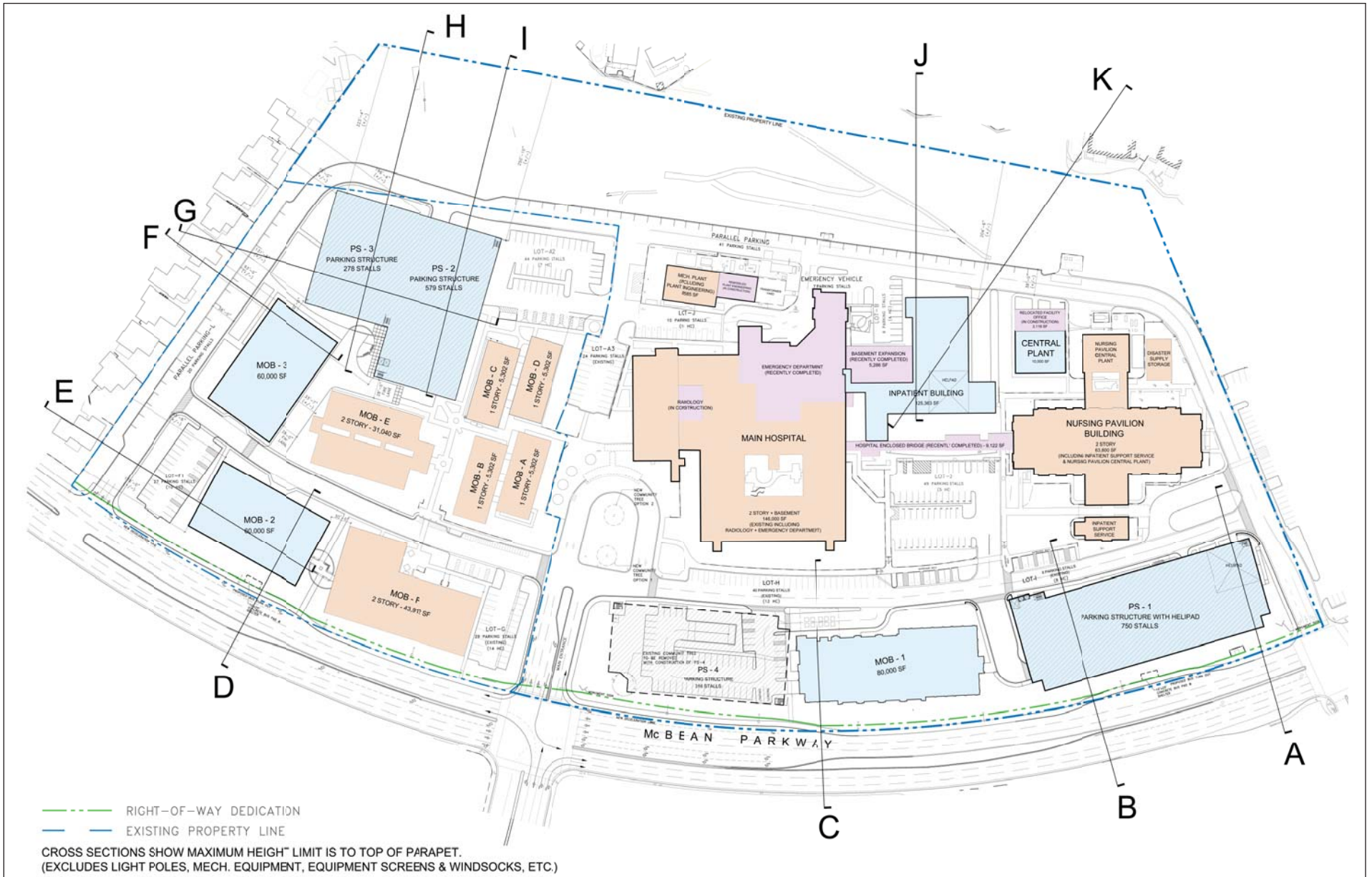
The project proposes the addition of an Inpatient Building, three medical office buildings, four parking structures and a central plant to the existing campus. Overall, development of the proposed project would increase building heights and massing features within the project area. However, the Master Plan has been designed to avoid a significant alteration of views from surrounding areas through the creation of height zones across the 30.4-acre campus, the placement of new buildings and parking structures using increased setbacks from the property edges and building step-backs, the reduction of building height along the western/southwestern edge of the campus, and the addition of a subterranean parking structure at the main Hospital entrance. Following is a discussion of the above-listed Master Plan components that minimize visual impacts.

The HMNMH Master Plan has divided the project area into five areas, in which maximum building heights have been identified; refer to *Exhibit 5.3-10, Height Limits*. Each of the five height zones are described below. The height limits within Zones 2 through 5 include minor exceptions such as mechanical equipment and equipment screening, penthouses, antennas, windsocks, parking lot lights, elevators, and override equipment rooms that may exceed the designated height limit, provided they do not exceed 20 percent of the building roof area.

**Zone 1** includes the area along the north/northwestern edge of the project site; this zone does not permit the construction of any structures. The majority of Zone 1 extends horizontally along the rear portion of the medical campus across a landscaped slope that separates the campus from the Summit residential neighborhood to the northwest. Zone 1 also wraps around the western edge of the medical campus, providing a 75-foot no-development buffer between the Village Homes North residential neighborhood immediately adjacent to the site, which is important given that the Village Homes North neighborhood is at the same general grade as the medical campus.

**Zone 2** includes the western corner of the medical campus near the single-family homes located on Ramillo Way to the west. PS3 is proposed to be located within Zone 2 and would be limited to a maximum height of 27 feet. In this way, Zone 2 provides a transition between Zone 1 and Zone 4 and would help to reduce the massing of PS3 and PS2 by stepping-back the height of the parking structure from 27 feet to 47 feet further into the campus and away from the Ramillo Way homes.





Source: SWA Architects, June 2008.

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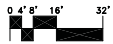
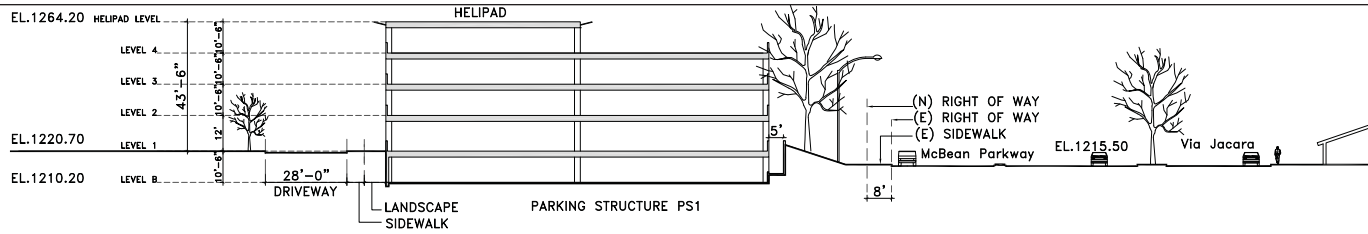


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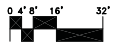
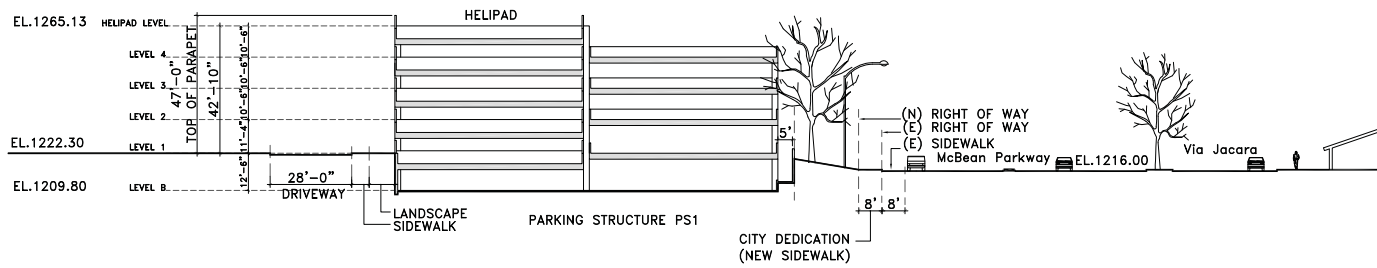
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## Cross Section Location Map

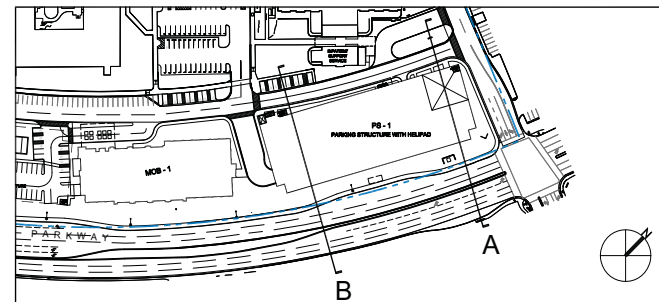
Exhibit 5.3-1



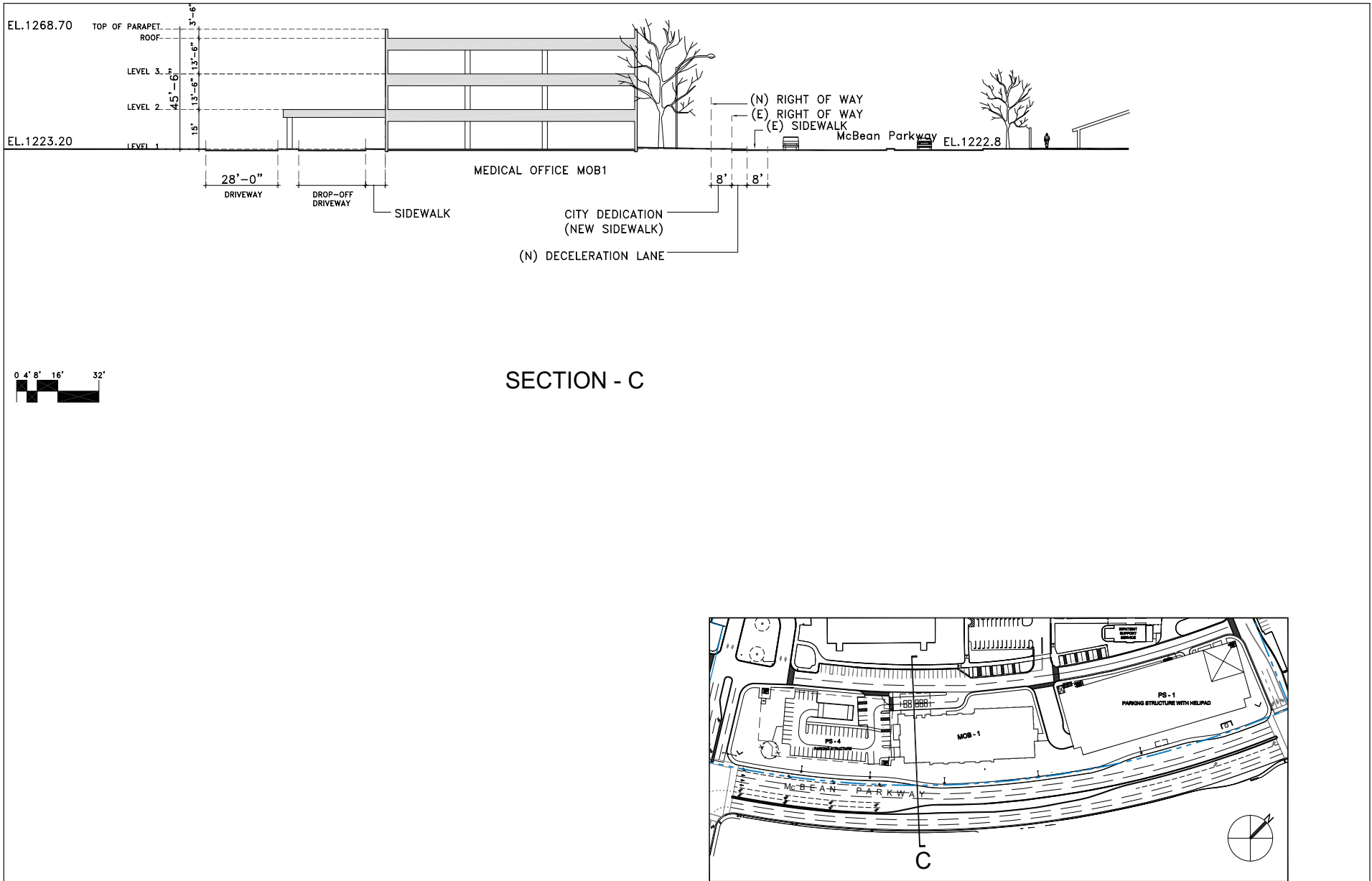
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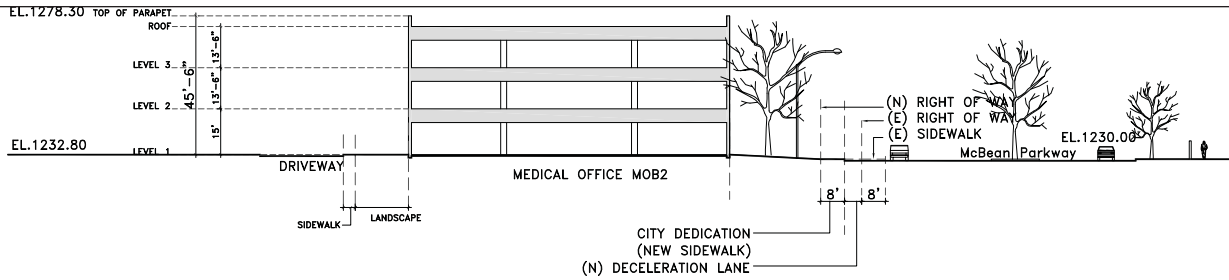
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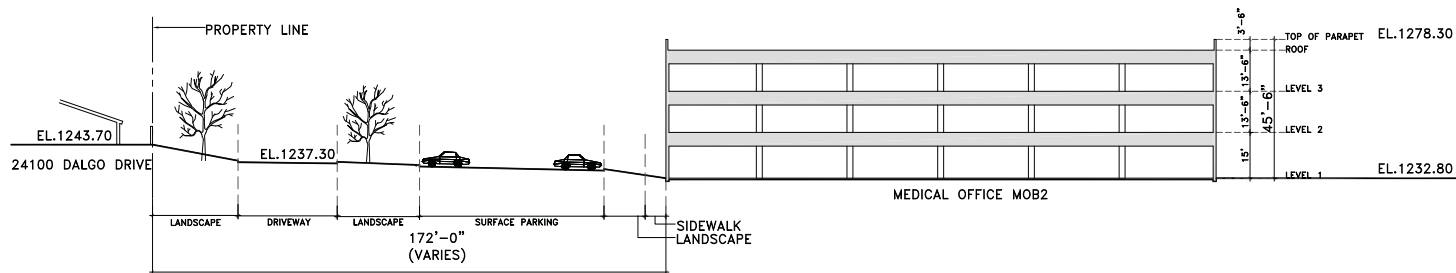
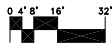
Source: SWA Architects, June 2008.



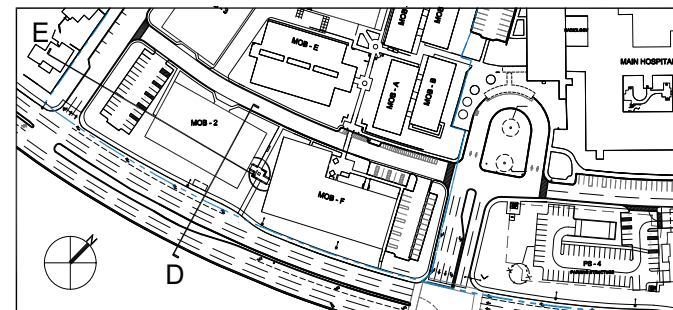
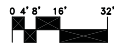
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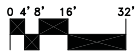
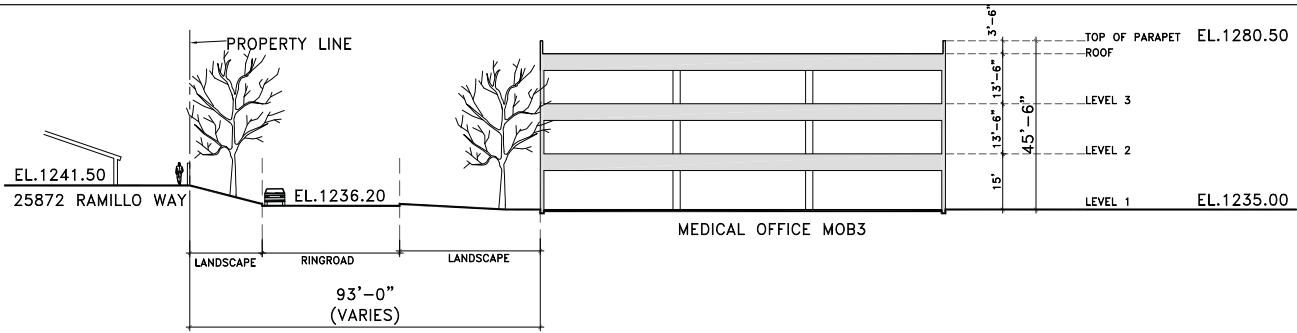
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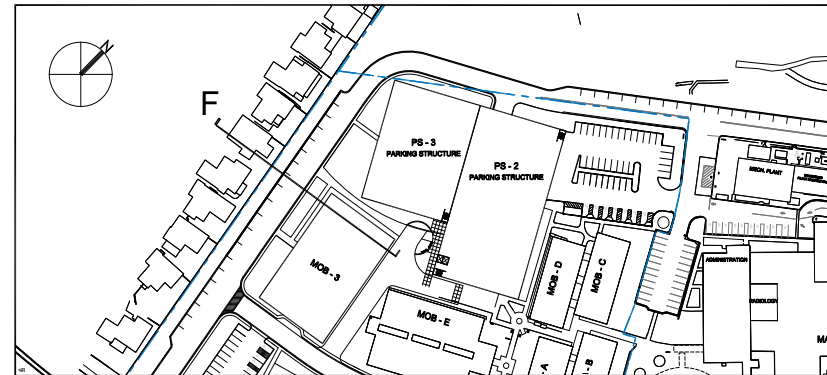
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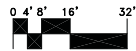
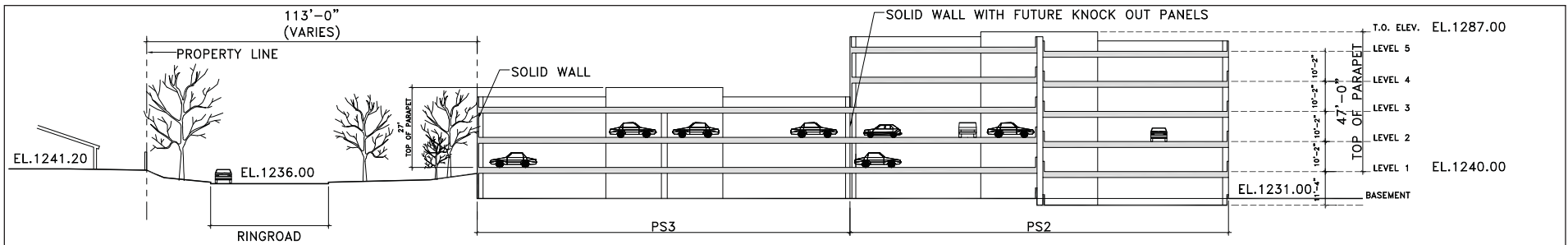
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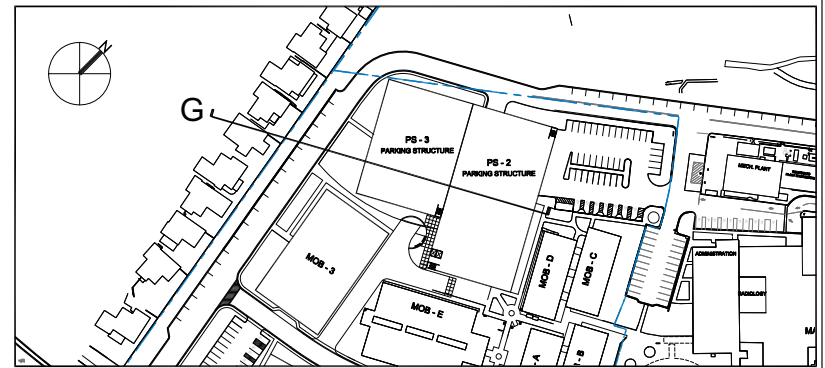
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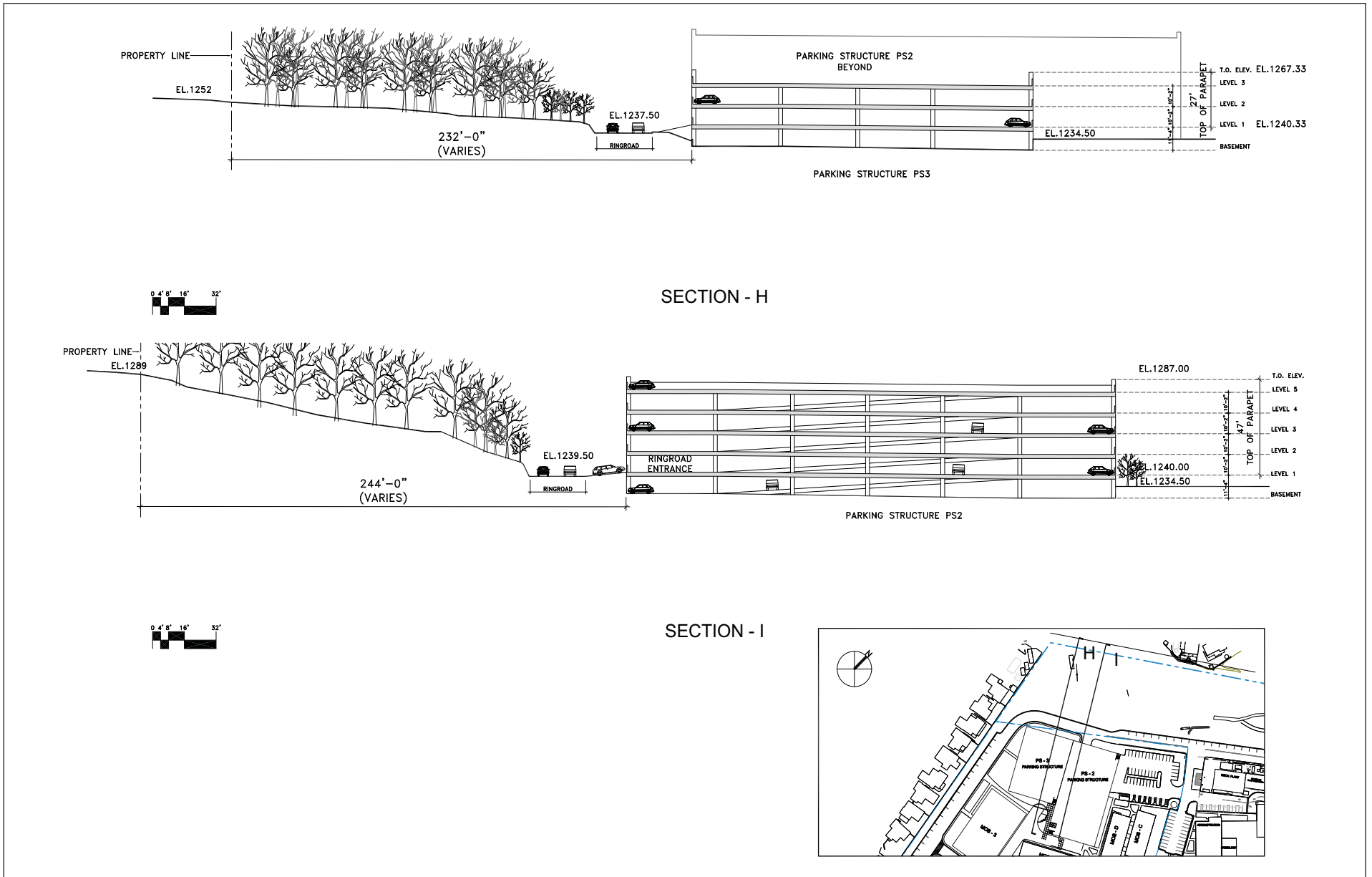
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SECTION - G

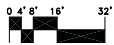
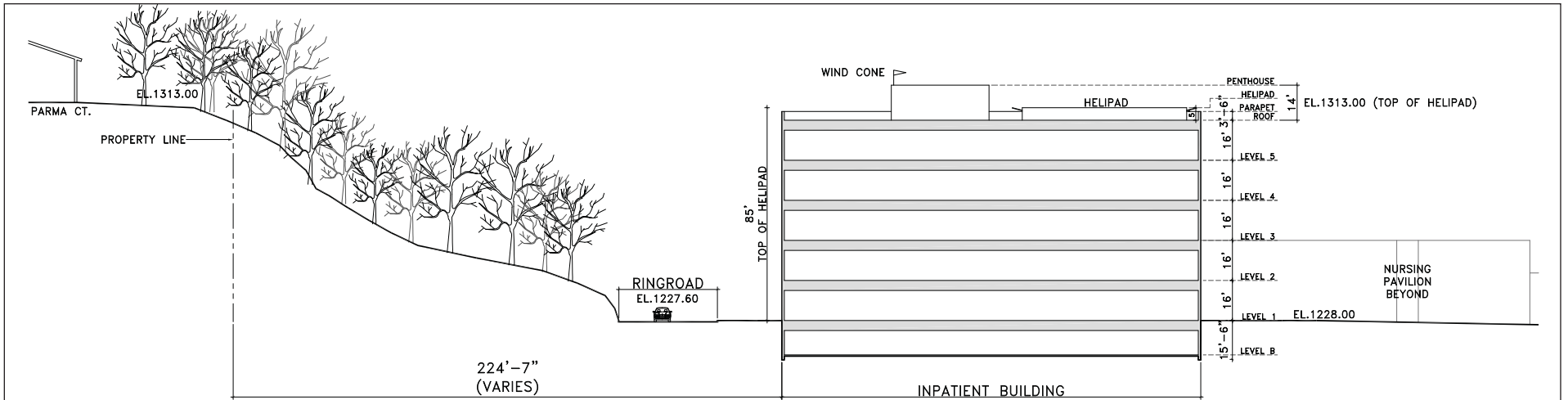


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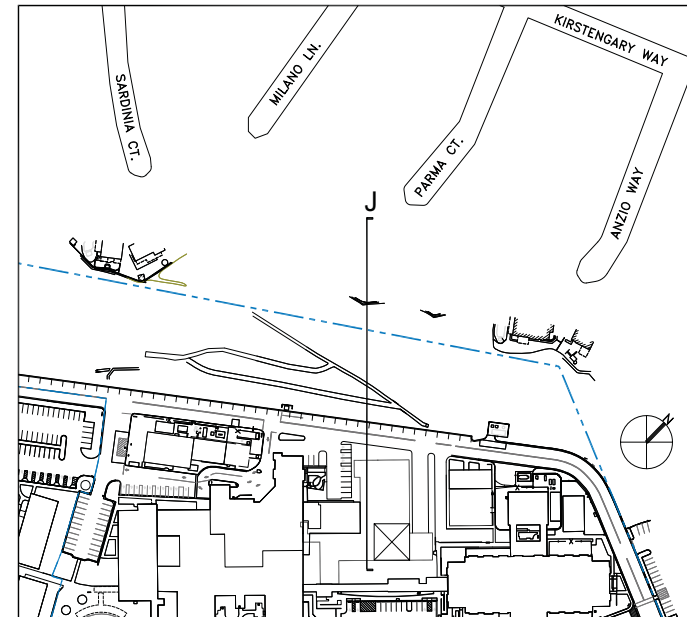


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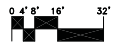
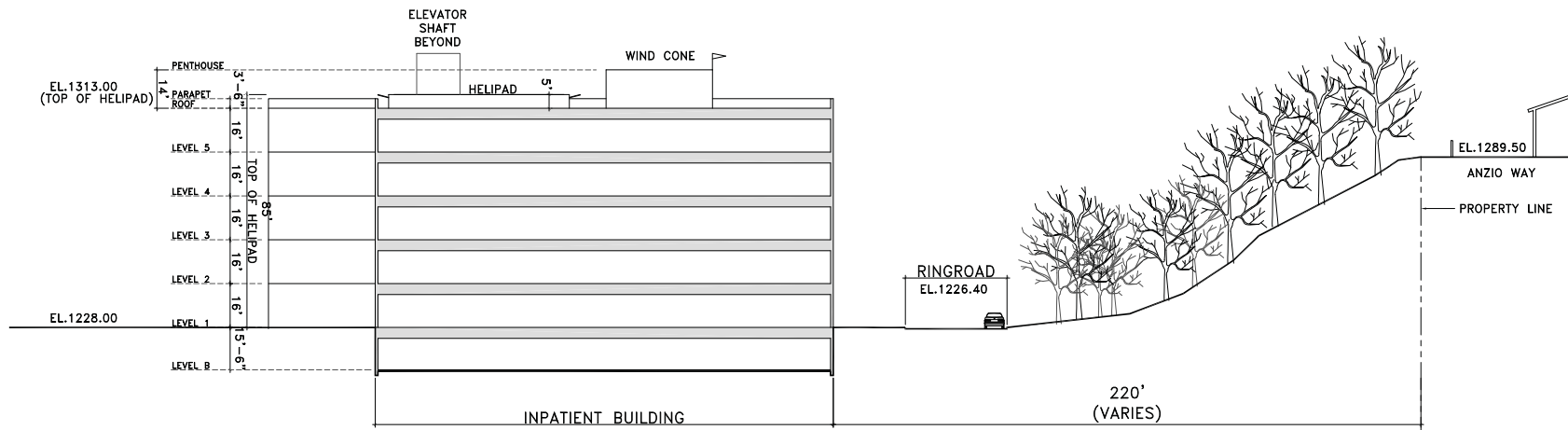


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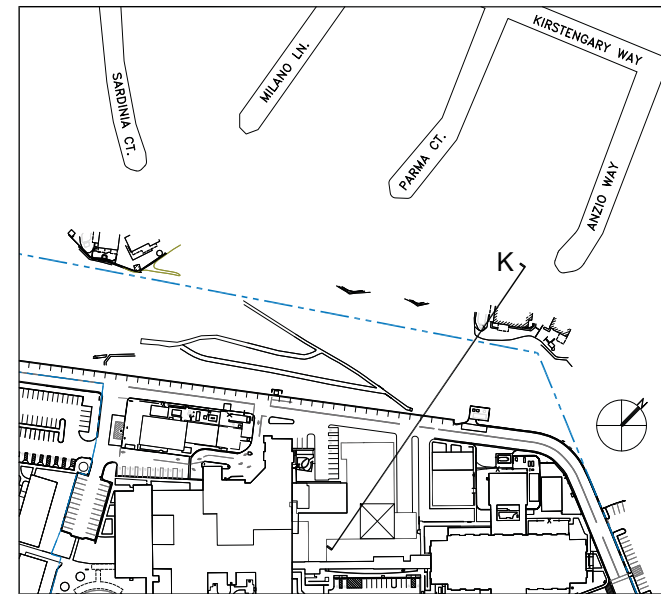


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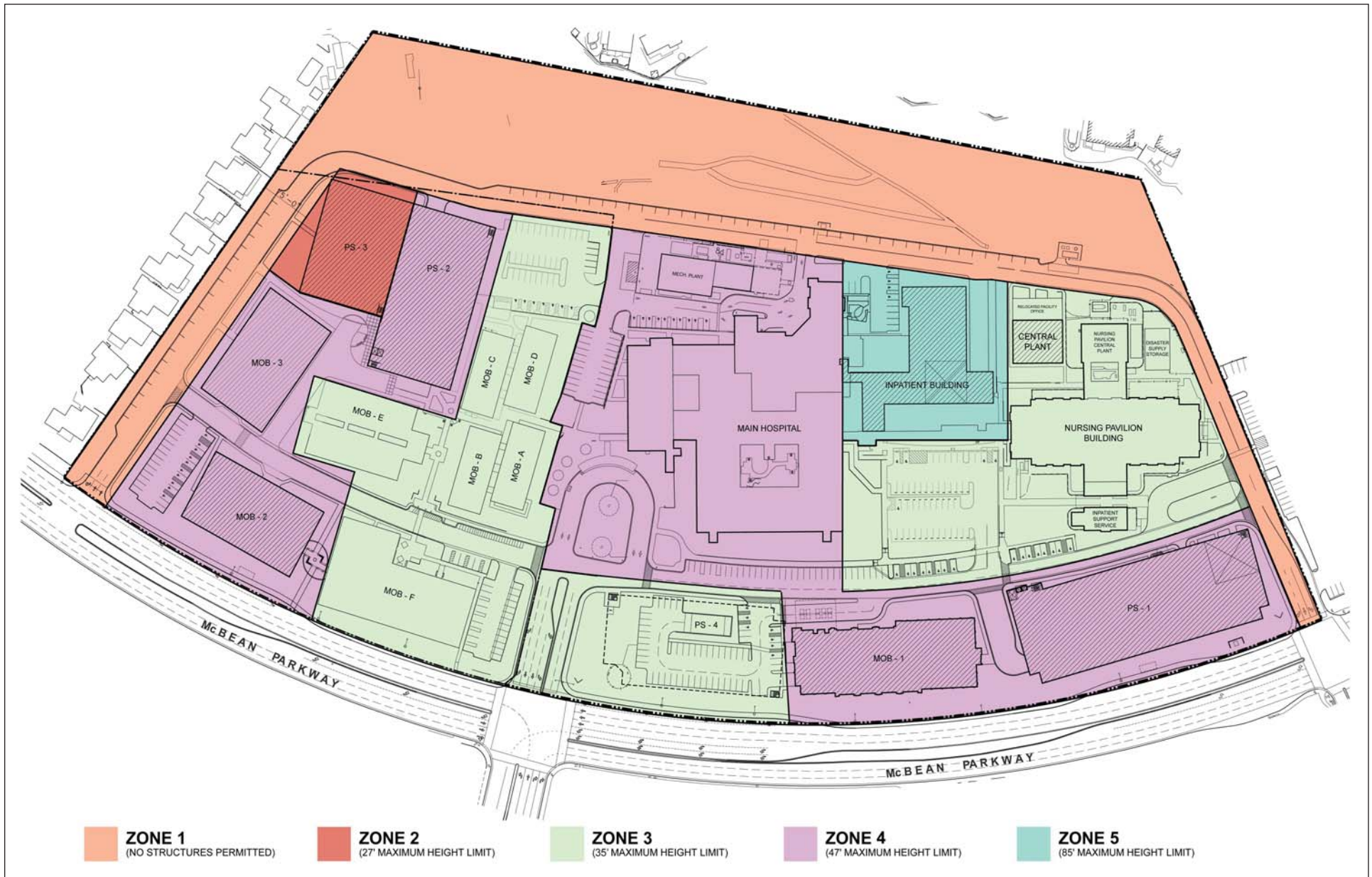




SECTION - K



Source: SWA Architects, June 2008.



Source: SWA Architects; April 3, 2008.

Note: Maximum building height limit is measured to the top of the parapet (excludes light poles, mechanical equipment, wind socks, etc.).

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## Proposed Building Height Limit Zones

Exhibit 5.3-10



**Zone 3** is located in two areas on the project site and encompasses existing MOBs A, B, C, D, E, and F on the western portion of the campus, and the Nursing Pavilion, Central Plant, and proposed PS4 on the eastern portion of the campus. Zone 3 limits structures to a maximum height of 35 feet. Zone 3 extends on both sides of the main campus entrance at the intersection of McBean Parkway and Orchard Village Road. A 35-foot height limitation at the primary HMNMH entrance would reduce the massing of the campus buildings for motorists and pedestrians in entering and exiting the campus.

**Zone 4** is located in two areas on the project site and includes MOB2, MOB3, and PS2 in the west/southwestern portion of the site, and the Main Hospital, MOB1, and PS1 in the central and northeastern portions of the project site. Zone 4 would permit structures up to a maximum height of 47 feet. This zone would allow for the construction of the three three-story medical office buildings and two four-to-five level parking structures.

**Zone 5** is the zone with the smallest area on the medical campus, centrally located just north of the Main Hospital and east of the slope that separates the medical campus from the Summit residential neighborhood. Zone 5 is located approximately 400 linear feet from McBean Parkway and sets the maximum building height limit to 85 feet. The Inpatient Building is the only building proposed to be located in this zone.

The Master Plan proposes building heights in excess of 35 feet and, pursuant to the City of Santa Clarita *Unified Development Code*, requires approval of a master plan or a conditional use permit. *Table 5.3-1, HMNMH Master Plan Building Heights*, provides a summary of both existing and proposed buildings and parking structures. It should be noted that the height reflected in the table is measured to the top of the parapet. Additional information regarding the location, height and setbacks for each proposed new building and parking structure is provided below.

**Inpatient Building** – Located in Zone 5, the Inpatient Building shall not exceed 85 feet in height to the top of the parapet and 100 feet in height to the top of the windsock and elevator shaft. The 85-foot-high Inpatient Building is the tallest building proposed as part of the Master Plan. Although the Inpatient Building would be visible from some residents' rear yards to the north and northwest, it is important to note the existing grade difference, which is up to 80 feet, and a 205-foot building setback from the property line, as depicted in the cross-sectional views in *Exhibit 5.3-8* and *Exhibit 5.3-9*. The majority of the Summit residential neighborhood is buffered by mature evergreen vegetation across a slope that extends 40-100 vertical feet above the campus (the horizontal dimension varies from 200-300 feet). Depending upon the location of the residential property along the northwestern and northern property line and assuming a resident is looking either straight ahead or down from the rear yard, foreground and middleground views would be of mature evergreen trees extending from the slope at the rear of the hospital campus, and beyond that, the Inpatient Building. In some cases, residents would have a view of the rooftop of the Inpatient Building, the helipad, and the wind cone for the helipad. Background views would remain unchanged; the Inpatient Building would not block distant views of the Valley's hillsides that are currently visible from these residential properties.

**Medical Office Building 1** – Located in Zone 4, MOB1 shall not exceed 45.5 feet in height to the top of the parapet and 51.5 feet to the top of the screen and roof access. As part of



the project revisions, MOB1 was relocated away from the main hospital campus entry at McBean Parkway and Orchard Village Road and placed mid-block, adjacent to Parking Structure 1. This modification was made to reduce the massing of the hospital campus facilities at the McBean Parkway/Orchard Village Road entry. This modification allows for additional greenery to be provided adjacent to the main hospital driveway, creating a more attractive appearance from both McBean Parkway and Orchard Village Road.

**Medical Office Building 2** – Located in Zone 4 in the southwestern area of the campus, MOB2 shall not exceed 45.5 feet in height to the top of the parapet and 51.5 feet to the top of the screen and roof access. As part of the project revisions, MOB2 was shifted from the far southwestern edge of the campus, closer to the existing two-story medical office building (MOB F) located along McBean Parkway at the campus entrance. Shifting MOB2 further to the east increases the distance between MOB2 and residences within the Village Homes North neighborhood to 178 feet at the southwest corner and 165.5 feet at the northwest corner of the building. This also creates additional space for more landscaping to be planted to further buffer the campus facilities from the adjacent homes.

**Medical Office Building 3** – Located in Zone 4 along the western edge of the campus, MOB3 shall not exceed 45.5 feet in height to the top of the parapet and 51.5 feet to the top of the screen and roof access. This building is the closest building to the western property edge bordering the Ramillo Way homes. However, this building would be set back 93 feet from the property edge, which would help to reduce its visibility from the rear yards of the Ramillo Way homes that back onto the hospital campus.

**Parking Structure 1** – Located in Zone 4, the height of PS1 shall not exceed 47 feet to the top of the parapet, 49.5 feet to the top of the parking lot lights, and 60.5 feet to the top of the windsock. This parking structure would be visible from the McBean Parkway frontage.

**Parking Structure 2** – Located in Zone 4, the height of PS2 shall not exceed 47 feet to the top of the parapet and 49.5 feet to the top of the parking lot lights. Given its location at the rear corner of the hospital campus, away from the McBean Parkway frontage, and the presence of a steep slope area to the west, PS2 is significantly screened from view.

**Parking Structure 3** – Located in Zone 2, the parking structure height shall not exceed 27 feet to the top of the parapet and 30 feet to the top of the parking lot lights. This parking structure would have a minimum setback of 75 feet from the westerly property line which gradually increases to the southwest as PS3 is angled away from the adjacent Village Homes North neighborhood. PS3 would serve as a transition to PS2, which extends to 47 feet in height.

**Parking Structure 4** – Located in Zone 3, PS4, a two-level subterranean parking structure, would appear as an at-grade surface parking lot given that it is fully below-ground, which would further break-up the massing of campus buildings along McBean Parkway and create an open area at the main hospital entrance. Initially, the area proposed for PS4 would be improved as a 71-space surface parking lot as part of the construction of MOB1. The construction of PS4 would occur as part of the future Master Plan improvements to meet



on-site parking requirements. Construction of PS4 would result in no visual impact along the McBean Parkway corridor.

**Table 5.3-1  
HMNMH Master Plan Building Heights**

Use	Height (Feet) <sup>1</sup>
<b>Existing</b>	
MOB A	18
MOB B	18
MOB C	18
MOB D	18
MOB E	29
MOB F	33
Foundation Building	12
Main Hospital	44
Nursing Pavilion	35
Central Plant	22
Covered Walkway	34
Basement Addition	N/A
<b>Proposed</b>	
Inpatient Building	85
Central Plant	26
MOB Building 1 (MOB1)	45.5
MOB Building 2 (MOB2)	45.5
MOB Building 3 (MOB3)	45.5
Parking Structure 1 (PS1)	47
Parking Structure 2 (PS2)	45.5
Parking Structure 3 (PS3)	27
Parking Structure 4 (PS4) <sup>2</sup>	N/A
Helipad (PS1/Inpatient Building)	45.0/85.0
N/A – Not Applicable 1. Measured to the top of the parapet. Height does not include items such as rooftop equipment, equipment screening, elevator shafts, and windsocks. 2. Parking Structure 4 includes at-grade and subterranean parking.	

The placement of the height zones across the medical campus is designed to avoid adverse visual impacts to surrounding residential neighborhoods from the addition of new buildings and parking structures. The no-development setback areas (Zone 1) and reduced heights at the main hospital entrance and around the periphery of the campus reduce the overall massing and scale of the development. The zone designated for 85-foot building heights (Zone 5) is limited in size and geographically situated in the central portion of the campus and is surrounded by Zone 1 (zero build along slope area), Zone 3 (35-foot height limit), and Zone 4 (47-foot height limit). The significant grade differences and landscape buffering that exists along the northwestern/western edge of the medical campus further buffers visual impacts from surrounding land uses.

*Mitigation Measures:* No mitigation measures are required.

*Level of Significance After Mitigation:* Less Than Significant Impact.



## Architecture & Building Elevations

The City's *Architectural Design Guidelines* describes Valencia as having “a mixture of bright colors, natural materials, and contemporary design.” The architectural design intent of the Henry Mayo Newhall Memorial Hospital Master Plan is to be compatible with the established Valencia community, while upgrading the architectural quality of the existing campus and establishing a distinctive identity. The Master Plan design follows the design considerations regarding wall surfaces, wall articulation and accents, and exterior colors listed for the Valencia community and incorporates a number of the commercial design elements listed for commercial developments regarding site planning and design, building design, utility and mechanical screening, pedestrian linkages, and paving treatment, among others. In this way, the proposed Master Plan is consistent with the City's *Architectural Design Guidelines*.

MOB1 and PS1, which front McBean Parkway and are planned to be built as the first Master Plan improvements, employ common design motifs to create a unified look to the street edge. The conditions of approval require all subsequent buildings and parking structures to include the same architectural features and enhancements. Building elevations for MOB1 and PS1 are provided in *Exhibit 5.3-11, MOB1: Building Exterior Elevations*, and *Exhibit 5.3-12, PS1: Building Exterior Elevations*.

MOB1 features a prominent cornice along the roofline in keeping with the upscale Valencia-style architecture of the community. The building colors include the earthy tones of the retail and commercial establishments further along on McBean Parkway, avoiding a stark institutional appearance that tends to be common among hospital facilities. The proposed project uses darker accent colors for the sun screens, stair towers, and an entrance canopy. Both MOB1 and PS1 are articulated in such a way as to set up vertical rhythms that break up the lengths of the buildings. The use of elements, such as sun screens, give a sense of depth and creates a human scale while adding visual interest.

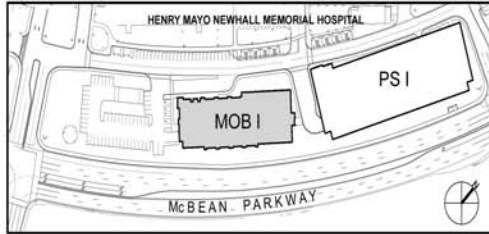
PS1 incorporates a metalwork design and green screens along the structure's facades to add a decorative element and create an opportunity for vine growth up the sides of the structure. The sweeping metal design places an emphasis on the horizontal lines to break up the massing of the structure. The green screens would soften the visual impact of the structure façade and overall massing along McBean Parkway.

### *Mitigation Measure:*

- AES3** Prior to issuance of building permits, each structure shall undergo Development Review (DR) approval in conformance with the adopted Master Plan and conditions of approval for overall site design and architectural conformity.

*Level of Significance After Mitigation:* Less Than Significant Impact.





SOUTH ELEVATION  
(McBEAN PARKWAY)



NORTH ELEVATION  
(HOSPITAL)



EAST ELEVATION



WEST ELEVATION

Source: SWA Architects, June 2008.

NOT TO SCALE

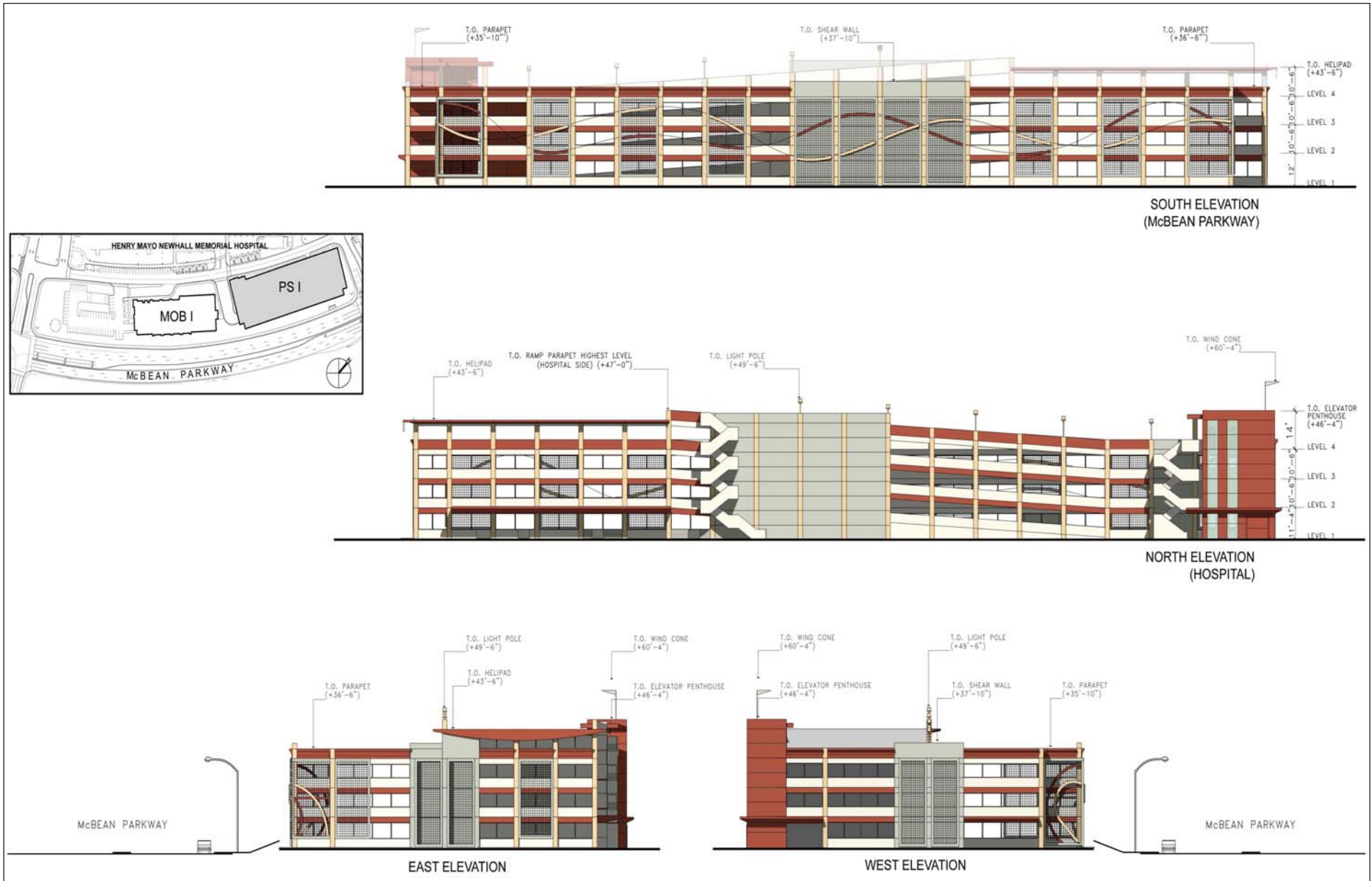


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# MOB1: Building Exterior Elevations

Exhibit 5.3-11



Source: SWA Architects, June 2008.

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**PS1: Building Exterior Elevations**

**Exhibit 5.3-12**





## Landscaping

Currently, 43 percent of the project site is landscaped with mature vegetation. Trees and landscaping currently exist throughout the parking lots where MOB1, MOB2, and PS1 are to be constructed, as well as along the hillside area and along the western property boundary. The proposed project would not remove any of the landscaping outside of the rear access road and would retain this landscape buffer. Existing mature trees that would screen parking lots and parking structures would be retained throughout the campus wherever possible.

### McBean Parkway

Buildout of the proposed Master Plan would include the removal of trees along McBean Parkway to accommodate both future on-site buildings and traffic-related improvements. The location and type of tree to be removed is shown on *Exhibit 5.3-13, Tree Removal Plan Along McBean Parkway*. Specifically, tree removals are necessary to accommodate MOB1, MOB2, PS1, and the surface parking area (PS4) to the west of MOB1. Presently there are a total of 115 trees along McBean Parkway, which includes the site's area fronting the street and the trees located within the median. A total of 69 trees would remain in place as part of project implementation (46 McBean Parkway median trees and 23 hospital campus trees along the McBean Parkway frontage). To accommodate the proposed development, 46 trees would be removed (12 McBean Parkway median trees and 34 hospital campus trees along the McBean Parkway frontage). Upon completion of the proposed Master Plan, a total of 133 trees would be located within the areas described above (53 McBean Parkway median trees and 80 hospital campus trees along the McBean Parkway frontage), which includes on-site trees that would remain along with new tree plantings. Overall, trees in the vicinity of the McBean Parkway frontage would increase from 115 trees to 133 trees.

Motorists' views from McBean Parkway onto the hospital campus would be affected in the short-term upon the construction of MOB1, PS1 and MOB2. However, the proposed Master Plan is required, through the conditions of approval, to replace any tree removals by relocating or replanting the trees at the ratio specified in the conditions of approval. The conditions of approval require a landscape plan for the McBean Parkway frontage that identifies the species, locations, and container size of trees at the time of planting. A combination of 24-, 36-, 48-, and 60-inch box trees would be required to maintain the landscape characteristic along the McBean Parkway frontage. The conditions of approval would ensure that the McBean Parkway frontage retains its landscape character over the life of the project and beyond.



**Tree Legend**

Symbol	Botanical Name	Common Name
	<i>Cedrus deodara</i>	Deodar Cedar
	<i>Chorisia Species</i>	Floss Silk Tree
	<i>Cinnamomum camphora</i>	Camphor Tree
	<i>Eucalyptus rudis</i>	Flooded Gum

Symbol	Botanical Name	Common Name
	<i>Fraxinus uhdei</i>	Shamel Ash
	<i>Gleditsia triacanthos</i>	Honeylocust
	<i>Grevillea robusta</i>	Silky Oak
	<i>Koeleruteria bipinnata</i>	Chinese Flame Tree

Symbol	Botanical Name	Common Name
	<i>Lagerstroemia indica</i>	Crape Myrtle
	<i>Liquidambar styraciflua</i>	American Sweet Gum
	<i>Platanus racemosa</i>	Sycamore
	<i>Prunus 'Krauter Vesuvius'</i>	Purple Leaf Plum

**Color Legend**

Symbol	Action
	Remain
	Remove

Source: SWA Architects, June 2008.

Note: This graphic does not reflect tree removals on the balance of the project site or the six trees to be removed within the McBean Parkway median further west of the site.

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# Tree Removal Plan Along McBean Parkway

Exhibit 5.3-13



### Perimeter Landscaping

Along the western property line, adjacent to the Village Homes North residences, the proposed project will be conditioned to install, within 120 days of the Master Plan approval, significant plantings along the western property line to screen future site development from the adjacent residences on Ramillo Way. The applicant is required to submit a landscape plan for City review within 60 days of project approval that shows locations of tree and shrub plantings, species, and container size at time of planting. Tree sizes shall be 24-inch box at minimum and contain proportional amount of 36-inch and 48-inch box containers and be of suitable species in order to achieve adequate coverage to the satisfaction of the Director of Community Development. MOB3 and the related parking facilities in this portion of the campus are not planned to be built until the latter portion of the 15-year Master Plan; therefore, this condition would allow the trees planted at project approval time to establish themselves and mature for greater coverage prior to construction occurring in that area.

The proposed project is also required to augment the vegetation on the northern slope to further screen the buildings and parking structures on the HMNMH campus from the Summit residential community to the north and northwest. Per the conditions of approval, the applicant shall submit a landscaping plan to the City for review and approval and plant the vegetation within 120 days of Master Plan approval. By planting additional trees within 120 days of project approval, this would allow time for the vegetation on the northern slope to mature and create a visual buffer, prior to the construction of the Inpatient Building, which is expected to be built several years after the initial Master Plan approval.

### On-Site Landscaping

Other landscaping features and requirements of the HMNMH Master Plan that would soften the overall appearance of the built environment are described below.

- ◆ Each parking structure is required to include a façade trellis planting system, such as a greenscreen modular trellis, or its equivalent, on the sides that are visible from the public streets and adjacent residences to soften appearances. The façade trellis system shall include permanent irrigation and be maintained in perpetuity. In addition, each parking structure shall include landscape buffer areas directly adjacent and shall include plant material that would adequately provide additional screening of the parking structures.
- ◆ A covered and landscaped pedestrian trellis feature to be located between MOB2 and the existing MOB F is shown as part of the Master Plan and is required as part of the project conditions of approval. This feature would provide an aesthetic enhancement along the McBean Parkway corridor and provide a pleasing pedestrian connection between the two buildings.
- ◆ For PS4, integrated planters would be provided throughout the surface parking field that totals at least five percent of the gross surface parking area. The provision of integrated planters with trees and shrubs on the surface of the parking structure would help to provide landscape screening and an aesthetic enhancement along the McBean Parkway corridor.



Prior to construction of PS4, the 71-space surface lot is required to include a 36-inch hedge screen at the perimeter where visible from McBean Parkway.

- ◆ As part of the construction of the Inpatient Building, the proposed project is conditioned to provide a “healing garden” for the campus, designed for passive use for patients, visitors, and staff. It is required to include elements to engage interest—such as a water feature and plantings—and shall be adequately accessible for the intended users.
- ◆ The community holiday tree, currently located at the eastern side of the main hospital entry, would be retained in the short-term with the construction of the 71-space surface parking lot. With the construction of PS4, however, the community holiday tree would be removed. The tree is required to be relocated or a new mature specimen planted at an alternative location at the center roundabout median at the main hospital building. The community holiday tree shall be accessible for community events and provide a focal point when entering the campus at the main driveway.

### Conceptual Landscaping Plans

Conceptual landscape plans have been developed and illustrate the location and extent of landscaping to be included on-site as part of the Master Plan buildout condition. The plans illustrate both existing landscaping that would remain in place and proposed landscaping. Along McBean Parkway, the following plant species are proposed: Canary Island Pine; Sycamore; Purple Leaf Plum; Crape Myrtle; Creeping Fig; Camphor Tree; African Sumac; and Chinese Flame Tree. The combination of tall growing pines and sycamores, as well as smaller decorative trees (such as Crape Myrtle or African Sumac) would soften the visual impact of MOB1, PS1, and MOB2 for motorists traveling along McBean Parkway. Street trees would be planted within the parkway behind the sidewalk and interspersed in tree wells along the sidewalk. The plant palette for McBean Parkway is shown on Exhibit 5.3-14, Conceptual Landscape Plan for MOB2 and MOB F Along McBean Parkway, and Exhibit 5.3-15, Conceptual Landscape Plan for MOB1 and PS1 Along McBean Parkway.

In addition, conceptual plans have been developed for the hillside area and the western edge of the project site, which are shown on Exhibit 5.3-16, Conceptual Landscape Plan Along Hillside and Western Boundary. As shown on Exhibit 5.3-16, three tree types are proposed: Camphor Tree; African Sumac; and the Afghan Pine.

### *Mitigation Measure:*

- AES4** Landscaping shall be installed in conformance with the approved Master Plan conceptual landscaping plans and in compliance with the conditions of approval prior to issuance of a Certificate of Occupancy for each building and parking structure.

*Level of Significance After Mitigation:* Less Than Significant Impact.





Source: SWA Architects, April 2, 2008.

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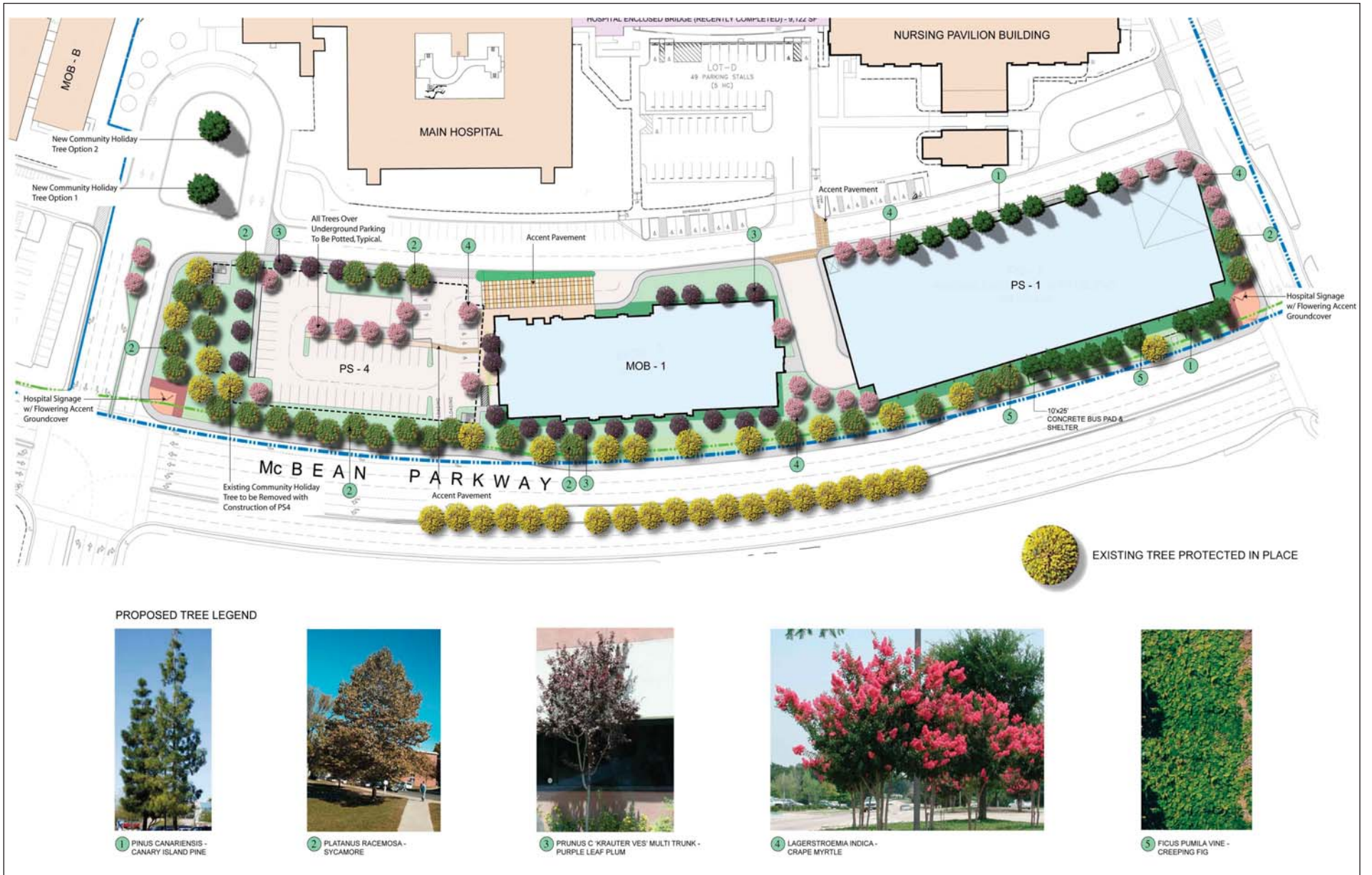


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# Conceptual Landscape Plan for MOB2 and MOB-F Along McBean Parkway

Exhibit 5.3-14



Source: SWA Architects, April 2, 2008.

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# Conceptual Landscape Plan for MOB1 and PS1 Along McBean Parkway

Exhibit 5.3-15





Source: SWA Architects, April 2, 2008.

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# Conceptual Landscape Plan Along Hillside and Western Boundary

Exhibit 5.3-16



## Viewpoint Simulations

In addition to the cross-section exhibits, three viewpoints were established to determine the visual impacts of the proposed project and portray “before” and “after” views. Because of the urbanized nature of the area and a generally flat topography, the hospital campus is not visible except within the immediate vicinity; therefore, all of the selected viewpoints are located immediately off-site and assess localized views after buildout of the Master Plan. Two of the viewpoints are from locations along McBean Parkway to determine how streetscape views would change, while the other viewpoint is from the adjacent Village Homes North residential neighborhood southwest of the campus. *Exhibit 5.3-17, Viewpoint Location Map*, provides a key to the location of the three viewpoints analyzed.

Characteristics within each viewpoint are defined within foreground, middleground, and/or background views. Characteristics located within foreground views are visible at close range and tend to dominate the view. Characteristics located within middleground views are distinguishable, yet not as sharp as those characteristics located in the foreground views. Features located within the background views have few details and distinctions in landform and surface features. The emphasis of background views is an outline or edge. Silhouettes and ridges of one land mass against another are the conspicuous visual aspects of the background, with the skyline serving as the strongest line. Objects in the background eventually fade to obscurity with increasing distance.

Photographic simulations have been utilized to depict at a conceptual level of detail the “before” and “after” conditions of the proposed project. The “after” conditions reflect completion of construction for specific buildings and installation of landscaping required per project conditions of approval. Two additional “after” conditions with proposed landscaping at “15-Year Growth” and “25-Year Growth” are depicted.

The following discussion analyzes the project site’s potential impacts at each viewpoint. The primary focus of effects is on surrounding uses and motorists traveling along McBean Parkway. Conditions analyzed include the “Existing View,” “Proposed View,” “Proposed View with Landscape – 15-Year Growth,” and “Proposed View with Landscape – 25-Year Growth”. The Proposed View reflects the time of construction completion for specific buildings as labeled for each photo simulation. These simulations are reflective of the conceptual landscape plans that have been developed and discussed previously in this section, which illustrate the location and extent of landscaping to be provided on-site as part of the Master Plan buildout. The Master Plan intends to maintain and enhance the landscaping throughout the life of the project and beyond.





Source: VisionScape Imagery.

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## Viewpoint Location Map

Exhibit 5.3-17





## Viewpoint 1 (Intersection of McBean Parkway and Avenida Navarre Looking West)

### Existing Condition

This viewpoint (approximately 1,213 feet above msl) affords views from the residential uses to the northeast and motorists traveling southbound along McBean Parkway; refer to *Exhibit 5.3-18, Viewpoint 1 (Intersection of McBean Parkway and Avenida Navarre Looking West): Existing and Proposed Conditions*. These views depict an existing landscaped surface parking lot. Foreground views include a traffic signal at the intersection of McBean Parkway and Avenue Navarre and hospital signage. Middleground views to mature ornamental trees and shrubs are available. Views to on-site parking uses are minimal. Existing vertical lighting features are visible throughout the view.

### Proposed View at Time of Construction Completion of PS1 and MOB1

With the implementation of the proposed project, the views at the McBean Parkway-Avenida Navarre intersection would be altered; refer to *Exhibit 5.3-18*. Middleground views to the ornamental landscaping and surface parking uses have been replaced with a four-to-five level parking structure (PS1) and helipad. Upon initial planting, which occurs at the time of construction, small trees are visible along the proposed structure. The initial landscaping, combined with existing mature vegetation to remain along McBean Parkway, would slightly soften the appearance of PS1. MOB1 further to the west along McBean Parkway is not visible from this location.

### Proposed View with Landscaping – 15-Year Growth and 25-Year Growth

With the implementation of the proposed landscaping, visual impacts associated with PS1 would be reduced; refer to *Exhibit 5.3-18*. After 15 years growth, proposed landscaping would be approximately the same height of the proposed structure and vine treatment along the green screens would be visible. Mature landscaping would significantly reduce the visible hardscape features of the new structure. Additionally, proposed trees at maturity would create a pleasing pedestrian environment, providing greater shade and softening the appearance of the built environment at this intersection. At 25-year growth, the proposed landscaping would appear similar in nature to growth at 15 years.

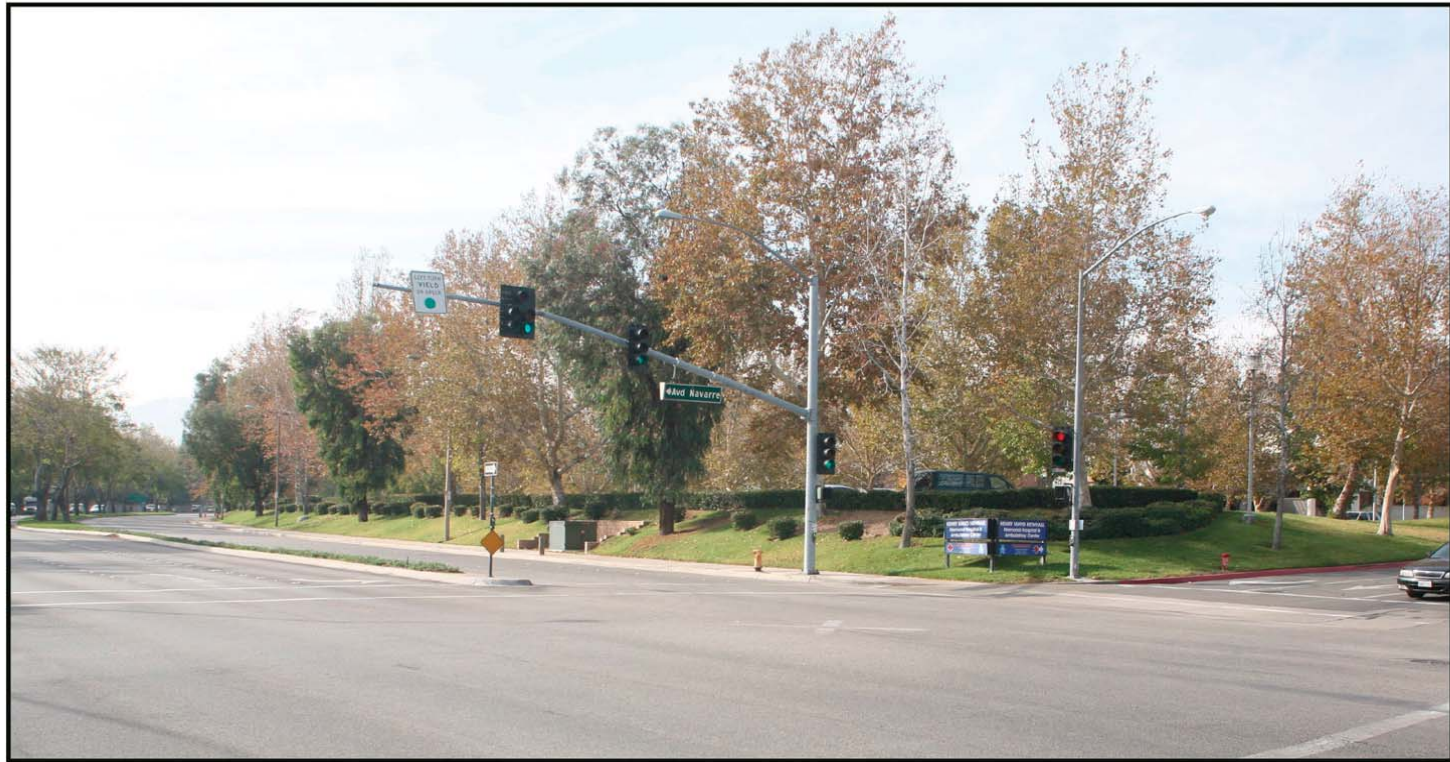


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EXISTING VIEW



PROPOSED VIEW AT TIME OF CONSTRUCTION COMPLETION OF PS1 AND MOB1



PROPOSED VIEW WITH LANDSCAPE – 15 YEAR GROWTH



PROPOSED VIEW WITH LANDSCAPE – 25 YEAR GROWTH

Source: VisionScape Imagery.

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# Viewpoint 1 (Intersection of McBean Parkway and Avenida Navarre Looking West): Existing and Proposed Conditions

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## Viewpoint 2 (Intersection of McBean Parkway and Orchard Village Road Looking North)

### Existing View

This viewpoint (approximately 1,227 feet above msl) affords views from the residential uses located to the south of the project site looking to the northeast, as well as motorists traveling northbound along McBean Parkway and those motorists approaching the intersection from Orchard Village Road; refer to *Exhibit 5.3-19, Viewpoint 2 (Intersection of McBean Parkway and Orchard Village Road Looking North): Existing and Proposed Conditions*. Views include existing surface parking and associated ornamental landscaping. Foreground views consist of McBean Parkway and associated streetscape, which includes trees, lighting features, and signage. Middleground views include parking uses, ornamental landscaping, and the Main Hospital, which is approximately 44 feet in height.

### Proposed View at Time of Construction Completion for the Inpatient Building

Upon implementation of the proposed project, the views at the McBean Parkway-Orchard Village Road intersection would be altered; refer to *Exhibit 5.3-19*. Foreground views would be preserved, such as trees and lighting. Middleground views to ornamental landscaping would be replaced with the proposed MOB1 (located to the southeast of the Main Hospital). The proposed MOB1 would be approximately 45.5 feet in height. Other ornamental landscaping features to the south of the Main Hospital would remain after project implementation. It is important to note that this photo simulation is taken at the time of construction completion of the Inpatient Building, not MOB1. MOB 1 is expected to be the first building to be constructed as part of the Master Plan; the Inpatient Building can be expected to take several years for design, OSHPD approval and construction to be completed. Therefore, the landscaping planted in the foreground along the McBean Parkway frontage as part of MOB1 construction would have had time to mature. In this simulation, those trees screen the Main Hospital building from view and provide a slight visual buffer to the Inpatient Building in the background. The Inpatient Building, located to the north of the Main Hospital at a height of 85 feet, would be visible.

### Proposed View with Landscaping – 15-Year Growth and 25-Year Growth

With the implementation of the proposed landscaping, visual impacts associated with the construction of MOB1 and the Inpatient Building would be reduced; refer to *Exhibit 5.3-19*. After 15 years growth, proposed landscaping would screen views to the Main Hospital and the proposed Inpatient Building and partially screen views to MOB1 in the middleground. Proposed 25-year growth landscaping would further screen project structures from this key view. Upon mature growth of proposed landscaping, the visible hardscape features would be significantly reduced.



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EXISTING VIEW



PROPOSED VIEW AT TIME OF CONSTRUCTION COMPLETION OF INPATIENT BUILDING



PROPOSED VIEW WITH LANDSCAPE - 15 YEAR GROWTH



PROPOSED VIEW WITH LANDSCAPE - 25 YEAR GROWTH

Source: VisionScape Imagery.

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## Viewpoint 2 (Intersection of McBean Parkway and Orchard Village Road Looking North): Existing and Proposed Conditions

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### Viewpoint 3 (Residential Property on Ramillo Way Looking East)

#### Existing View

This viewpoint (approximately 1,237 feet above msl) affords views from a private residential dwelling unit that is adjacent to the project site to the west along Ramillo Way; refer to Exhibit 5.3-20, Viewpoint 3 (Residential Property on Ramillo Way Looking East): Existing and Proposed Conditions. Existing views are confined to the property line as an existing brick wall and mature ornamental landscaping screen middleground and background views.

#### Proposed View at Time of Construction Completion for MOB3

The conditions of approval for the project require the installation of significant plantings along the western property line to screen all future site development from the adjacent residences within 120 days of Master Plan approval. MOB3, with the related parking facilities, is planned to be the final building constructed as part of the Master Plan and would therefore occur toward the latter portion of the 15-year implementation period. This creates an opportunity for the new trees and shrubs planted along this boundary to mature before construction begins.

With the implementation of the proposed project, views from the rear yards of the single-family homes bordering the hospital campus would be altered; refer to Exhibit 5.3-20. Upon project development, middleground and background views would include the topmost portions of the proposed 27-foot high parking structure (PS3), which is located in the background, and the 45.5-foot-high medical office building (MOB3), which is located in the middleground. Trees planted during the initial planting period (within 120 days of Master Plan approval) have experienced some growth by the time MOB3 is constructed and are visible in middleground views, which would partially screen the proposed structures. The initial landscaping would reduce the developed appearance of the project features. The existing brick wall and mature ornamental landscaping would remain in the foreground view.

#### Proposed View with Landscaping – 15-Year Growth and 25-Year Growth

With the implementation of the proposed landscaping, visual impacts to the middleground and background views would be reduced; refer to Exhibit 5.3-20. After 15 years growth, proposed landscaping would screen views to PS3 and MOB3 from the rear yards of the single-family homes. The combination of existing vegetation with the new plantings at the time of Master Plan approval would significantly reduce the developed appearance of project features.

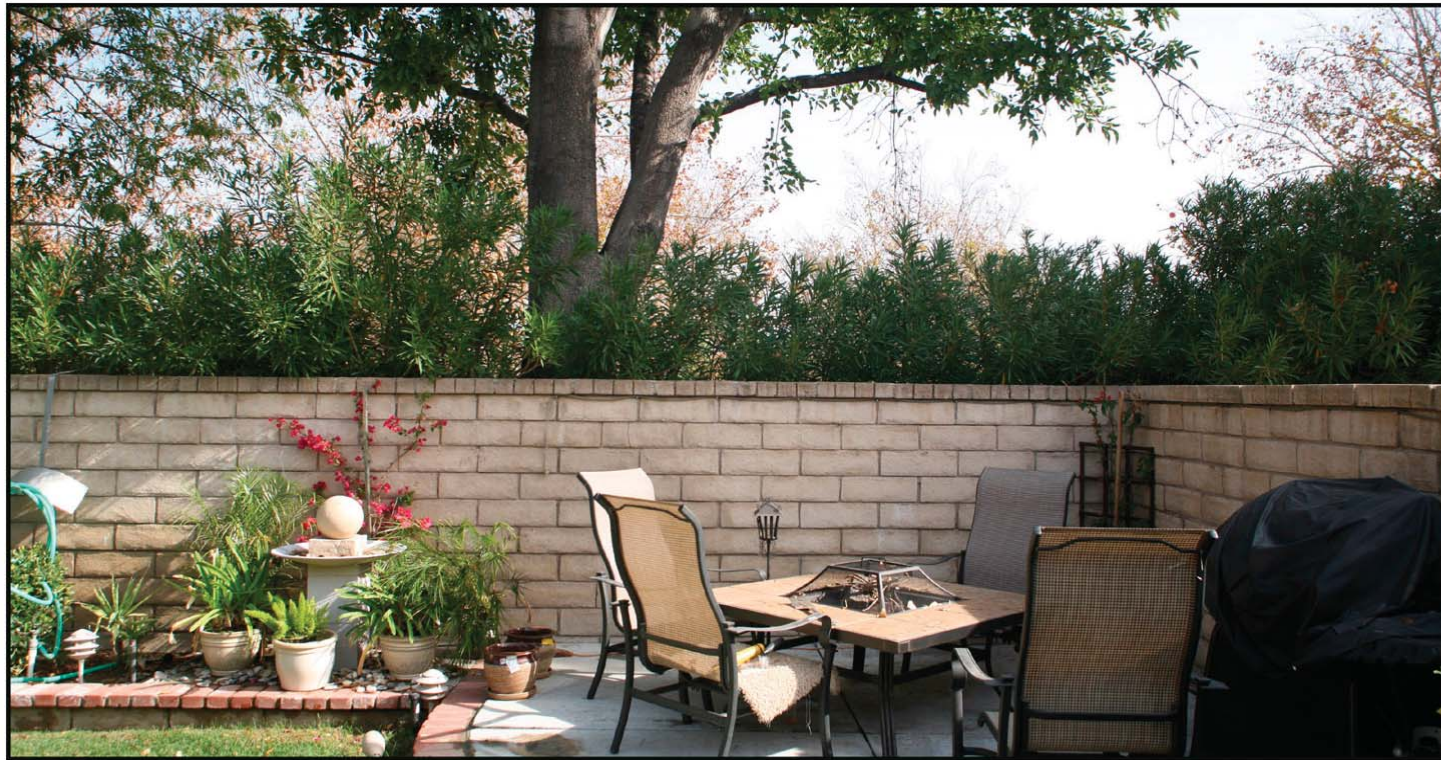


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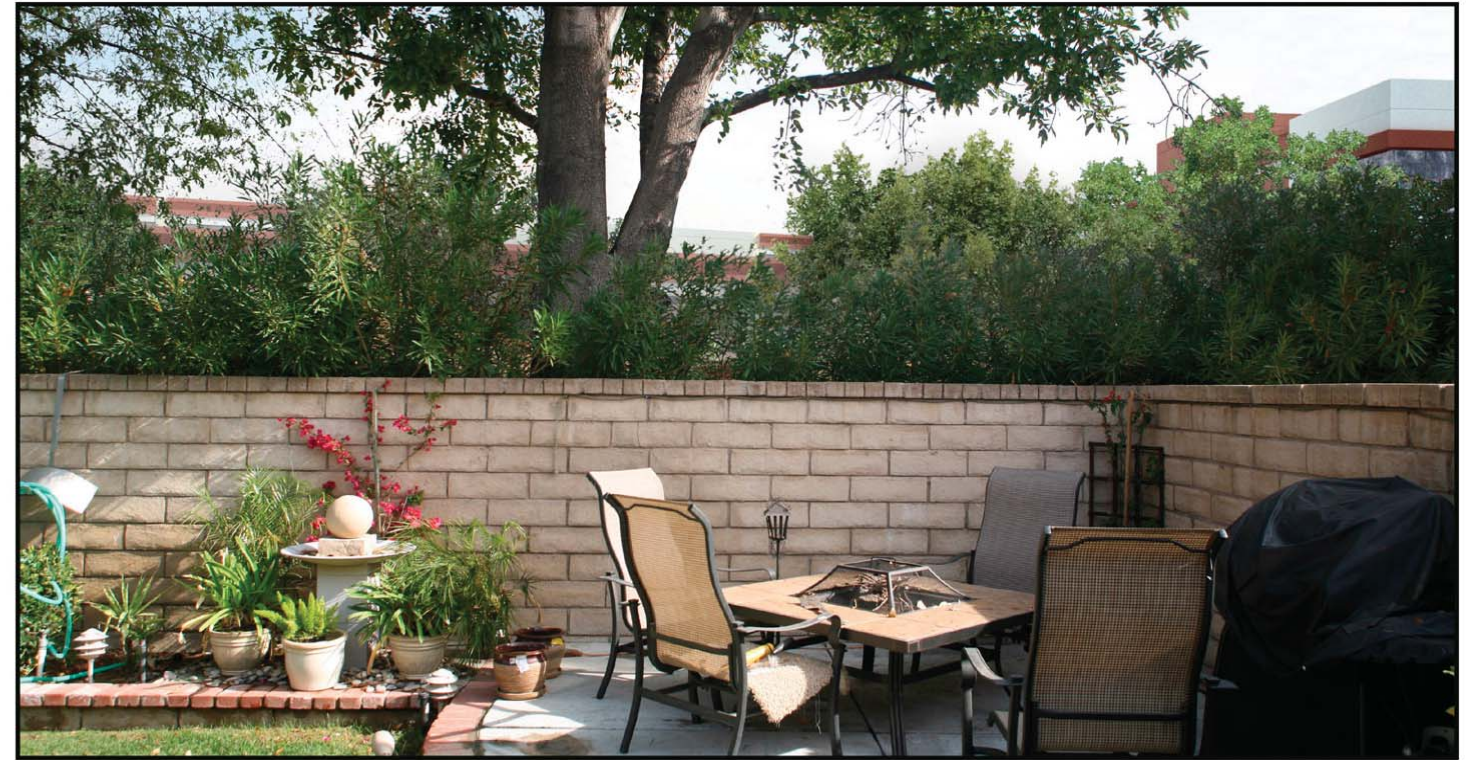
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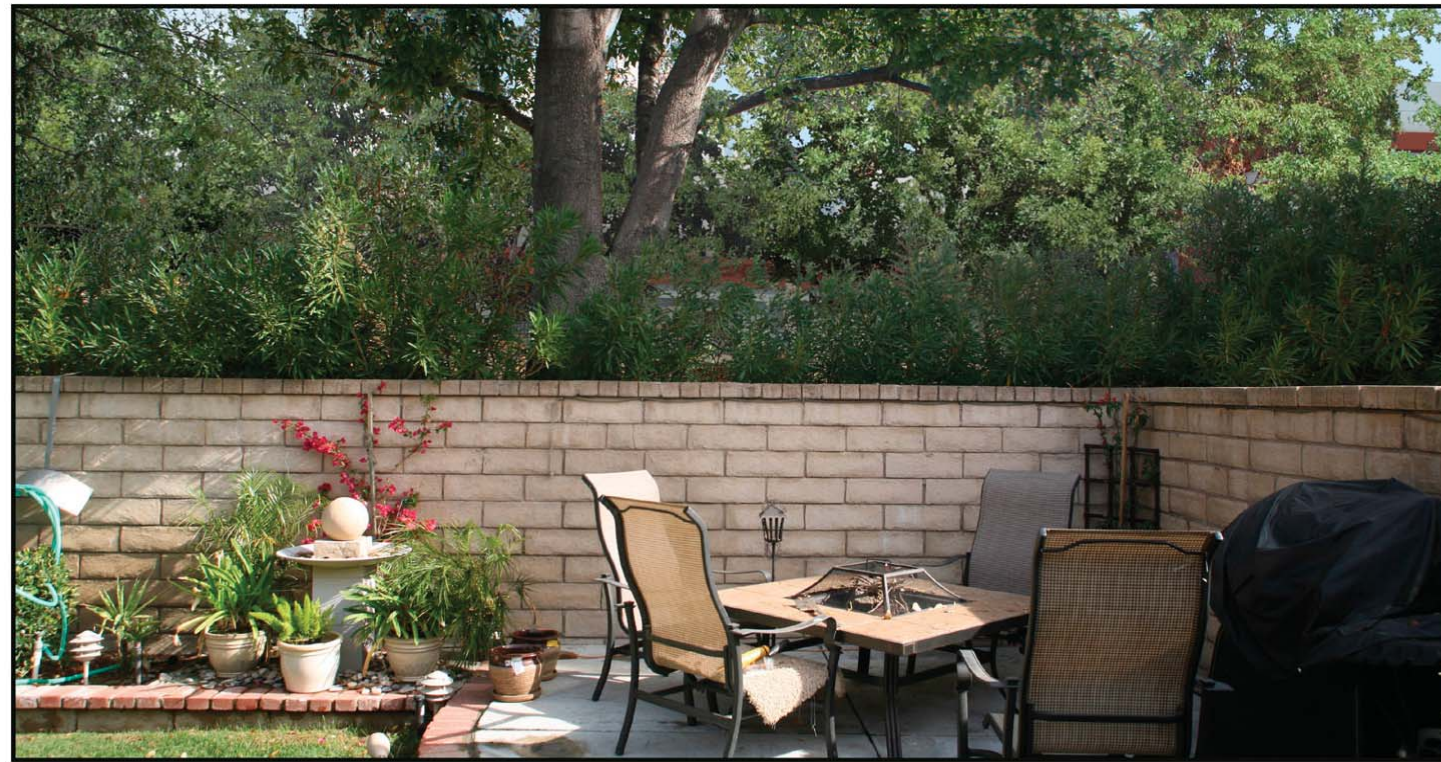




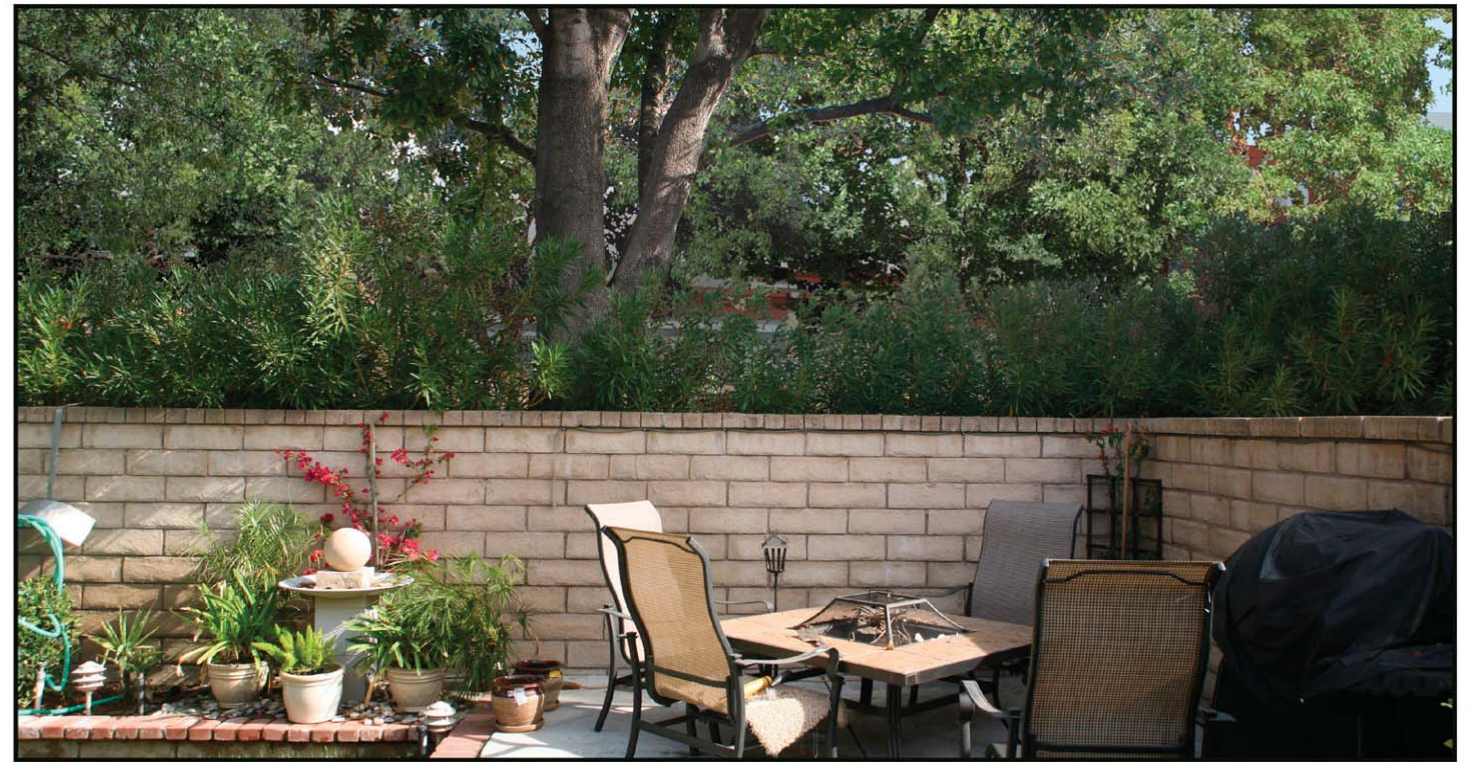
EXISTING VIEW



PROPOSED VIEW AT TIME OF CONSTRUCTION COMPLETION OF MOB3  
(PLANTING IN PLACE 5 YEARS PRIOR TO CONSTRUCTION)



PROPOSED VIEW WITH LANDSCAPE – 15 YEAR GROWTH



PROPOSED VIEW WITH LANDSCAPE – 25 YEAR GROWTH

Source: VisionScape Imagery.

NOT TO SCALE



06/08 • JN 10-103970

## Viewpoint 3 (Residential Property on Ramillo Way Looking East): Existing and Proposed Conditions

REVISED ENVIRONMENTAL IMPACT REPORT  
HENRY MAYO NEWHALL MEMORIAL HOSPITAL MASTER PLAN

Exhibit 5.3-20





## Henry Mayo Newhall Memorial Hospital Master Plan Environmental Impact Report

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## Impact Analysis Conclusion

Specifically, views along McBean Parkway and from a limited number of the surrounding residential properties would change from the more open hospital campus that exists today to a more densely developed campus with additional multi-story buildings and parking structures. Although views of the project site from the surrounding area would be altered, development of the proposed project would not substantially degrade the existing visual character of the site or its surroundings as the Master Plan has been designed to minimize adverse visual impacts through building placement and building height limitations, increased building setbacks and step-backs from the property boundaries, the addition of architectural enhancements, and landscaping and pedestrian features along McBean Parkway and throughout the campus.

The proposed project is also subject to conditions of approval, including but not limited to, general planning conditions, architectural conditions, parking, and landscaping. In addition, the proposed project would be required to comply with Title 17 of the *Unified Development Code*, including but not limited to, Development Standards, Parking Standards, Sign Ordinance, and Landscaping Standards.

Thus, compliance with all applicable site development regulations and requirements, conditions of approval, and Mitigation Measures AES3 and AES4 would ensure that development of the proposed project would not adversely affect the existing visual character or quality of the site and its surrounding. Therefore, impacts would be less than significant.

*Mitigation Measures:* Refer to Mitigation Measures AES3 and AES4. No additional mitigation measures are required.

*Level of Significance After Mitigation:* Less Than Significant Impact.

## **LONG-TERM LIGHT AND GLARE IMPACTS**

*Level of Significance Prior to Mitigation:* Less Than Significant Impact.

*Impact Analysis:* Light spill and glare are the major environmental concerns associated with outdoor lighting installations. Unless mitigated, light and glare from the proposed development would have the potential to create significant impacts on adjacent residential uses located to the north, east, west, and south of the project site. Buildout of the HMNMH Master Plan would result in increased utilization of the property. The proposed uses would require lighting of building interior and exterior spaces (i.e., entryways and signs). In addition, the proposed project would include lighting for activity areas involving nighttime uses, lighting around the structures (security lighting, walkways, and parking structures), lighting for interior of buildings, and lighting for the helipads.

Residential uses to the northwest and north would not experience a substantial change in the amount of light spill or glare as this residential neighborhood sits approximately 40-80 feet above the medical campus and is buffered by mature evergreen vegetation across a 100-300 foot slope. The 85-foot-high Inpatient Building is the tallest building proposed as part of the Master Plan. As demonstrated in Cross Sections J and K, the roof of the Inpatient Building is at the elevation of the top of slope; in addition, the building is set back approximately 200-220 linear feet from the closest



residential property lines. Mature evergreen trees planted across this slope provide further buffering to minimize any light or glare impacts.

Light and glare from PS1 and MOB1 would not significantly affect the residential uses located northeast and east of the project site due to project conditions of approval that restrict the spillage of light and glare on adjacent roadways and properties, and given the 175 feet of linear distance across McBean Parkway and Via Jacara to the front yards of these single-family homes. In addition, multiple layers of vegetation exist within landscaped parkways and medians along the roadways separating the residences from MOB1 and PS1, which provides further buffering.

Residential uses to the west of the HMNMH campus along Ramillo Way could also be affected from the lighting from MOB2, MOB3, PS2, and PS3, despite a block wall that is located along the southwestern project boundary. PS2 and PS3 have been designed with a solid wall along the west facing facades to eliminate light spillage from the parking structure to nearby residences.

Residential uses to the south and southwest of the project site are not likely to be affected by lighting from MOB2 given that McBean Parkway provides a buffer of approximately 125 feet to the nearest residential unit. In addition, block walls and landscaping would further shield these residents from light and glare impacts.

All lighting must comply with Chapter 17.15, Property Development Standards, of the City's *Unified Development Code*, which requires all light sources to be directed downward and shielded from streets or adjoining properties and would prevent light spillage onto adjacent residential uses. Other conditions of approval require that: (1) the design and placement of all exterior site lighting be designed and located to avoid intrusive light and glare effects on adjacent residential properties and that light fixtures use shielding, if necessary, to prevent spill lighting on adjacent off-site uses; (2) lighting fixtures and standards shall conform to state and local safety and illumination requirements; (3) the project shall use minimally reflective glass and all other materials used on exterior buildings and structures shall be selected with attention to minimizing reflective glare; (4) automatic timers on lighting shall be designed to maximize personal safety during nighttime use while saving energy; and (5) low-intensity street lighting and low-intensity exterior lighting shall be used throughout the campus, to the extent feasible. Compliance with the *Unified Development Code* and conditions of approval reduces all potential light and glare impacts to a less than significant level.

With respect to lighting for the helipads, the lighting would be installed in compliance with the requirements of the California Department of Transportation, Aeronautics Division to ensure that the helipad is adequately lit, and that public health and safety is maintained.

In consideration of the existing urban environment, the existing visual buffers, compliance with the City's lighting requirements in the *Unified Development Code* and implementation of the conditions of approval, project implementation would not result in significant light and glare impacts to the adjacent residences or other sensitive uses to the north, east, west, and south. Therefore, no mitigation measures would be required.

*Mitigation Measures:* No mitigation measures are required.

*Level of Significance After Mitigation:* Less Than Significant Impact.



### 5.3.4 CUMULATIVE IMPACTS AND MITIGATION MEASURES

*Level of Significance Prior to Mitigation:* Less Than Significant Impact.

*Impact Analysis:* The proposed project, in combination with other development identified in Section 4.0, would contribute to the continued urbanization of the aesthetic character of the Santa Clarita Valley. The proposed project and other development in the City of Santa Clarita would transform the character of the area by fully utilizing existing land uses and adding urban uses in currently developed and undeveloped areas.

The aesthetic, light, and glare impacts of individual development projects can be mitigated through careful site design, avoidance of significant visual features, the use of building materials that are consistent with the general character of the area, landscape design and proper lighting techniques to direct light on-site and away from adjacent properties and compliance with the *General Plan* and *Unified Development Code*. The proposed project, in combination with other related cumulative projects identified in Section 4.0, would contribute to the existing urbanized character of the City of Santa Clarita and surrounding area. With implementation of recommended mitigation measures, and compliance with the *General Plan* and *Unified Development Code*, cumulative long-term aesthetic, light, and glare impacts would be reduced to a less than significant level.

*Mitigation Measures:* Refer to Mitigation Measures AES1 through AES4. No additional mitigation measures are required.

*Level of Significance After Mitigation:* Less Than Significant Impact.

### 5.3.5 SIGNIFICANT UNAVOIDABLE IMPACTS

With imposition of the mitigation measures, implementation of the proposed project would result in less than significant project and cumulative aesthetic, light, and glare impacts. As such, no significant unavoidable impacts from aesthetics, light and glare would result from implementation of the Henry Mayo Newhall Memorial Hospital Master Plan.



## Henry Mayo Newhall Memorial Hospital Master Plan Environmental Impact Report

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